

ACOUSTICAL NOTES:

- All new windows and glass doors shall have a minimum Sound Transmission Class (STC) of 30
- Ventilation shall be provided per the requirements of the California Mechanical Code (CMC), Chapter 4. The ventilation system shall consist of air-conditioning, furnace with summer switch, or other independent fan system. Operation of the ventilation system shall not result in interior noise levels greater than 45 dB CNEL.

HERS NOTE:

An electronically signed and registered Installation Certificate(s) (CF2R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of Occupancy will not be issued until forms CF2R is reviewed and approved.

- An electronically signed and registered Certificate(s) of Field Verification and Diagnostic Testing (CF3R) shall be posted at the building site by a certified HERS rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of Occupancy will not be issued until CF3R is reviewed and approved.

FAA NOTIFICATION:

THE PROJECT IS LOCATED IN THE AIRPORT ZONE, AIRPORT INFLUENCE AREA (REVIEW AREA 2), AND THE FEDERAL AVIATION ADMINISTRATION (FAA) PART 77 NOTIFICATION AREA

WINDOW NOTE:

PROVIDE AN EMERGENCY ESCAPE AND RESCUE OPENING THAT COMPLIES WITH ALL OF THE FOLLOWING:
 - MINIMUM NET CLEAR OF 5.7 SQ.FT.
 - (5 FEET) MINIMUM AT GRADE FLOOR OPENING
 - MINIMUM 20 INCH NET CLEAR OPENING WIDTH
 - MINIMUM 24 INCH CLEAR OPENING HEIGHT
 - BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR (CRC R310.1)

SHOWERS NOTE:

SHOWER COMPARTMENTS AND BATHTUBS WITH AN INSTALLED SHOWER HEADS SHALL BE FINISHED WITH NON ABSORBENT SURFACE THAT EXTENDS TO HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC R307.2)

CONSTRUCTION OR ALTERATION NOT REQUIRING NOTICE:

"I, FERNANDO GONZALEZ do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of Code of Federal Regulations CFR Part 77, Notification is not required."

"NOTICE TO THE APPLICANT/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD:

By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements of the City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes."

"NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER:

By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of the requirements contained in the statement of special inspections, you agree to comply with the requirements of the City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes."

Building permit applications submitted shall comply with the following codes:

- 2022 Edition of the California Building Code
- 2022 Edition of the California Residential Code
- 2022 Edition of the California Mechanical Code
- 2022 Edition of the California Plumbing Code
- 2022 Edition of the California Electrical Code
- 2022 Edition of the California Fire Code
- 2022 Edition of the California Green Building Standards

2022 Edition of the California Energy Code,

AREA FOR SCHOOL FEES

BUILDING AREA TOTAL ADDITION: 5,069.93 SQ.FT.

ACCESSIBLE SPACE

	SQ.FT.
A. BALCONY, DECK, PATIO (ENCLOSED, UNENCLOSED), PORCH	772.96
B. CARPORT, GARAGE	1,170.06
C. COURT	0
D. EXTERIOR EXIST BALCONY (PER CALIFORNIA BUILDING CODE, CHP. 10)	0
E. GAZEBO	0
F. LAUNDRY (DETACHED)	0
G. POOL EQUIPMENT ROOM (DETACHED)	0
H. SHAFT FLOOR OPENING (ELEVATOR, VENT., ...)	0
I. SHED OR STORAGE ROOM (DETACHED)	0
J. SOLARIUM	0
K. SWIMMING POOL, SHOWER/SPA (DETACHED-OUTDOOR/INDOOR)	0
L. UTILITY ROOM NOT WITHIN BUILDING ENVELOPE (CABLE, ELECTRIC GAS AND TELEPHONE SERVICES)	0
M. UNCLOSED GROUND FLOOR WALKWAYS	0

TOTAL : 1,943.02

AREA TOTAL FOR SCHOOL FEES: 5,069.93 - 1,943.02

= 3,126.31 SQ.FT.

Very High Fire Hazard Severity Zone Note:

This building shall conform to the provisions of CRC Section R327 and SDMC Sec. 145.0706 for structures located in very High Fire Severity Hazard Zone.

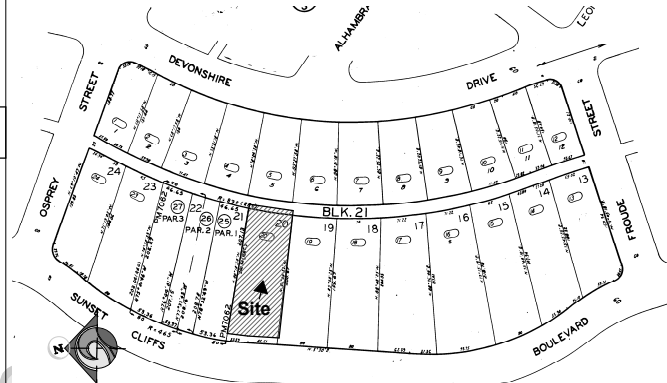
Accessory structures such as solarium, patio covers, decks and similar structures shall comply with the CRC Sec. R327 as adopted and amended by City of San Diego (SDMC Sec. 145.0702)

This Building is located in a Very High Fire Severity Hazard Zone. The structures located in VHFHSZ shall conform to the provisions of CRC Section R327 and SDMC Sec. 145.0706
Exceptions: Additions to and Remodels of buildings originally constructed prior to the applicable application Date (July 1, 2008)

VICINITY MAP



LOCATION MAP



HEALY'S RESIDENCE



PROJECT DATA

PROJECT ADDRESS: MAIN HOUSE: 1161 SUNSET CLIFF BLVD, SAN DIEGO CA. 92107
ADU: 1163 SUNSET CLIFF BLVD, SAN DIEGO CA. 92107

A.P.N.#: 530-020-20-00
LEGAL DESCRIPTION: TR 1889, BLK 21* LOT 20
OCCUPANCY TYPE: R-3
CONSTRUCTION TYPE: TYPE V - NON RATED,
YEAR BUILT/EXISTING STRUCTURE: 1970
SPRINKLERED: NO
ZONING INFORMATION: R-1-7
BASE ZONE: OCEAN BEACH
COMMUNITY PLAN AREA: PARKING IMPACT, TANDEM PARKING, CITY COASTAL, COASTAL HIGH LIMIT
SENSITIVE OVERLAY ZONE: AIRPORT APPROACH, ALUCP Airport Influence Area San Diego International Airport - Review Area 1 & NAS North Island - Review Area 2, ALUCP Noise Contours San Diego International Airport 6 0 - 6.5 CNEL, and FAAP art 77 Noticing Area

GEOLOGY/HAZARD CATEGORY: 43, 52
NUMBER OF STORIES: 1 STORY EXISTING UNIT ADDING A 2ND STORY
REQUIRED SETBACKS: Front 15'-0"/ 20' MIN., Sides - 4' Rear 5'-0" W/ALLEY
BUILDING HEIGHT LIMIT: 30'-24" ON SETBACK / 30' MAX
ALLOWABLE FAR: 49%
LOT AREA: 15,500 SQ.FT.
LOT COVERAGE: 50%
ALLOWABLE FLOOR AREA RATIO: 49% = 7,595.00 SQ.FT. / Proposed 42.23% = 6,546.26 SQ.FT.

SCOPE OF WORK

- * OBTAIN DISCRETIONARY PERMIT (COASTAL DEVELOPMENT) PRJ-1130694
- * EXISTING SINGLE FAMILY RESIDENCE #1161 ONE STORY TO BE REMODEL AND ADDING A NEW SECOND FLOOR W/ NEW 3 BEDROOMS 3 FULL BATHS AND A BALCONY.
- KEEPING ORIGINAL TOP AND BOTTOM PLATE WALLS.
- * BUILD A DETACHED GARAGE WITH AN ACCESSORY UNIT (ADU) TWO BEDROOMS, TWO FULL BATHS.
- * NEW ELECTRICAL PANEL 200 AMPS.
- * A NEW EQUIPMENT ROOM 39 SQ.FT. ATTACHED TO ADDITION

PROJECT SUMMARY

BUILDING AREAS:

FOR ZONING F.A.R.

Gross floor areas:

Existing Unit 1161 :	1,743.81 S.F.
1st Floor Addition Unit 1161:	221.31 S.F.
2nd Floor Addition Unit 1161:	1,774.47 S.F.
Existing detached garage	505.48 S.F.
New 3 car garage	1,170.06 S.F.
New Accessory Unit TBD :	1,131.13 S.F.

TOTAL GFA: **6,546.26 S.Q.FT.**
49% = 7,595.00 S.F. ALLOWED
Proposed = 6,546.26 S.F. = 42.23%

BUILDING AREAS: SQ.FT.

	EXISTING	ADDITION	TOTAL
Unit 4758 1st level :	1,743.81	221.31	1,965.12
Unit 4758 2nd level :	0	1,774.47	1,774.47
NEW ADU	0	1,131.13	1,131.13
NEW Garage	0	1,170.06	1,170.06
TOTAL:	1,743.81	4,296.97	6,040.78

Total Habitable Areas: 6,040.78 SQ. FT

INTERIOR REMODEL AREA 1ST LEVEL = 1,743.00 S.F.

Non-Residential Areas:

New Balconys:	284.96 S.F.
Covered Patios	304.00 S.F.
Deck	184.00 S.F.

New landscape area for ADU area: 4,200 sq.ft.

Parking Garage: Required: 2 Provided: 5

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DEFERRED SUBMITTALS

SOLAR PV SYSTEM

RESIDENTIAL FIRE SPRINKLER SYSTEM

GENERAL NOTES

- DO NOT SCALE DRAWINGS. NOTIFY OWNER / DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL INDICATED DIMENSIONS ARE APPROXIMATE AND ARE GIVEN FOR ESTIMATE PURPOSES ONLY. BEFORE PROCEEDING WITH THE WORK, CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS, SIZES, REQUIRED CLEARANCES AND SHALL ASSUME FULL RESPONSIBILITY FOR THE FITTING OF ALL EQUIPMENT AND MATERIALS HEREIN REQUIRED TO OTHER PARTS OF THE WORK AND TO THE WORK OF OTHER TRADES.
- IT IS THE INTENT OF PROJECT DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS, THAT A COMPLETE AND WORKABLE INSTALLATION BE PROVIDED. TO THIS END, THE CONTRACTOR SHALL FURNISH LABOR, MATERIALS, EQUIPMENT, TOOLS, IN PERMISSION, TRANSPORTATION, WAREHOUSING, AND OTHER SERVICES REQUIRED TO COMPLETE THE WORK IN AN EFFICIENT AND TIMELY MANNER.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. DURING THIS PERIOD, ANY DEFECT FOUND IN MATERIAL OR WORKMANSHIP SHALL BE REPAIRED OR REPLACED TO OWNERS SATISFACTION, AT THE CONTRACTORS EXPENSE.
- THESE DRAWINGS AND SPECIFICATIONS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTORS, SUBS, AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BEGINNING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THE WORK, REGARDLESS OF WHERE THE INFORMATION OCCURS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE OF VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. DIMENSIONS ARE FACE TO FACE OF STUDS OR SLAB UNLESS NOTED OTHERWISE ON DRAWINGS.
- THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY MATERIAL FAILURE NOR ANY DIMENSIONS MADE FROM THE CONSTRUCTION DOCUMENTS DURING OR AFTER CONSTRUCTION OF THE DESCRIBED REFERENCE.
- ST. ADDRESS SHALL BE LOCATED ON BLDG EXTERIOR, VISIBLE FROM STREET. NUMBERS SHALL BE MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
- 5% MIN. SLOPE REQUIRED FOR DRAINAGE AWAY FROM BLDG. AND SITE NATURAL DRAINAGE SHALL NOT BE DIVERTED ONTO ADJACENT PROPERTY.
- ALL SPOTS ELEVATIONS ARE FOR REFERENCE ONLY. BUILDER SHALL FIELD VERIFY EXISTING ELEVATIONS AND JUST T.O.S. (TOP OF SLAB) ACCORDINGLY.

CONTACTS

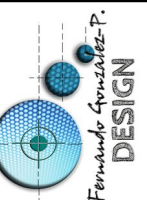
OWNER & FINANCIALLY RESPONSIBLE
 Don and July Healy
 1161 Sunset Cliff Blvd.
 San Diego CA, 92107

DESIGNER
 Fernando Gonzalez-Pacheco
 2022 Azure Cove #6
 Chula Vista, CA
 Phone: 619-739-1492
 e-mail: arkheindesignstudio@gmail.com

STRUCTURAL
 GAMA Engineering
 1911 San Diego Ave.
 San Diego CA, 92110
 Phone: 619-254-8548
 jgarcia@gama-inc.com

Title 24 ESTUDIO 75
 4275 Executive square. ste. 200
 La Jolla, CA 92037
 Phone: 619-274-2838
 e-mail: t24.e75@gmail.com

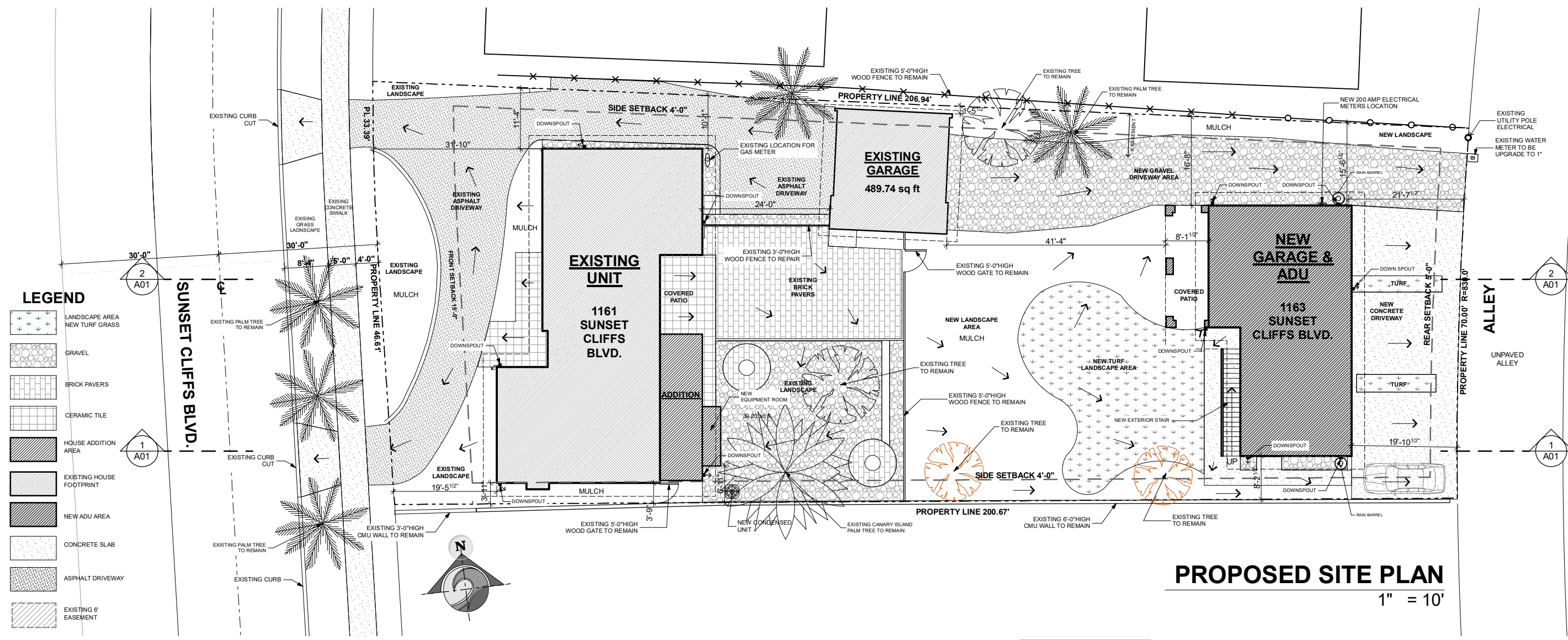
REMODEL, ADDITION AND ADU
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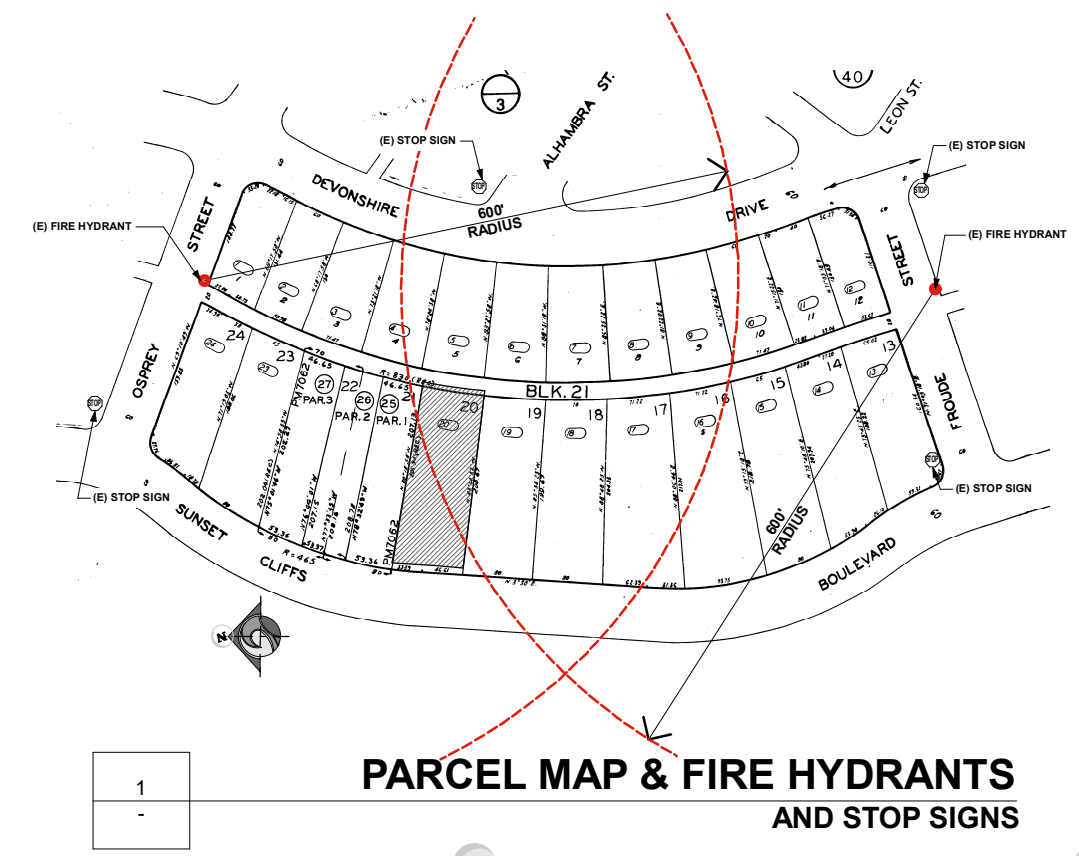
J. Gonzalez-Pacheco

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PROPOSED SITE PLAN
1" = 10'



PARCEL MAP & FIRE HYDRANTS AND STOP SIGNS

LANDSCAPE GENERAL NOTES

"All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards."

MINIMUM TREE SEPARATION DISTANCE

Traffic signals / stop signs - 20 feet
 Underground utility lines - 5 feet (10' for sewer)
 Above ground utility structures - 10 feet
 Driveway (entries) - 10 feet
 Intersections (intersecting curb lines of two streets) - 25 feet

"Maintenance: All required landscape areas shall be maintained by OWNER. Landscape and irrigation areas in the public right-of-way shall be maintained by OWNER. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit."

"Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap around the root ball." Please clearly identify the installation of root barriers in the locations subject to these conditions per 14.2.0.4.0.3(b).

"If any required landscape indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage."

NEW LANDSCAPE AREA 4,200 SQ.FT FOR NEW ADU/GARAGE AREA

- "Existing trees to remain on site within the area of work will be protected in place. The following protection measures will be provided:
1. A bright yellow or orange temporary rary fence will be placed around existing trees at the drip line.
 2. Stockpiling, top soil disturbance, vehicle use, and material storage of any kind is prohibited within the drip line.
 3. Root system of existing trees will be protected from flooding, erosion, chemical spills, and excessive wetting and drying during dewatering.
 4. The existing grade will be maintained within the drip line of existing trees.
 5. Roots of existing trees will be cut approximately 6 inches back from new construction and all cuts will be sealed with wood paint as manufactured by Flintkote or approved equal.
 6. A Certified Consulting Arborist shall oversee pruning of any roots 6-in or greater in diameter.
 7. Maintain and document a tree watering schedule during construction.
 8. All damaged trees will be replaced with one of equal or greater size.

GRADING QUANTITIES

TOTAL LOT SIZE:	15,500.00 S.F.
A. TOTAL DISTURBANCE AREA:	2,400.00 S.F.
B. EXISTING AMOUNT IMPERVIOUS AREA:	4,527.49 S.F.
C. PROPOSED AMOUNT IMPERVIOUS AREA:	2,926.80 S.F.
D. PROPOSED AMOUNT IMPERVIOUS AREA (REPLACED):	0 S.F.
E. TOTAL IMPERVIOUS AREA:	10,361.00 S.F.
F. AMOUNT OF CUT/FILL EXPORT/IMPORT IN VOLUME:	9 YD ³
G. MAX CUT/FILL DEPTH:	18"

IMPERVIOUS AREA INCLUDE: ROOFTOP, CONCRETE PAVEMENT, DECK, SOLAR PANELS, ETC.

NOTE: All storm water runoff from proposed and/or replaced impervious areas shall be routed to pervious surfaces or landscaping prior to reaching the public drain system.

Per City of San Diego Municipal Code Sections 12.0104, 43.0310, 129.0104 (a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but is not limited to, Storm Water Compliance Inspection Requirements associated with each permit.

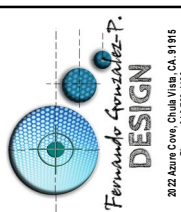
HEIGHT INSPECTION

A pre-construction inspection is required due to the height of the proposed structure being within one foot of the maximum height allowed in the Coastal Height Limit Overlay Zone (Proposition D). The pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled. Call (858)581-7111 to schedule the pre-construction inspection. Contact the Inspection Services office at (858) 492-5070, if you have any questions pertaining to the pre-construction.

SITE PLAN GENERAL NOTES

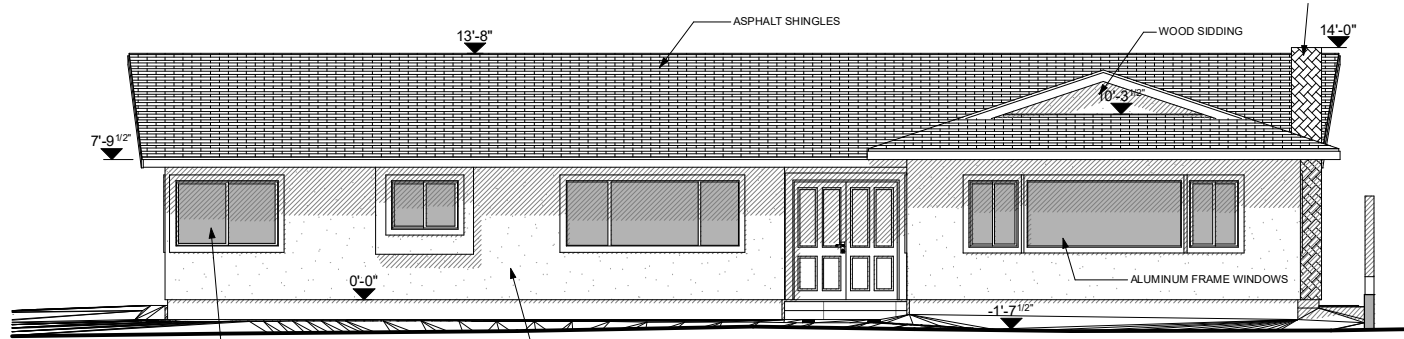
1. The Architect is responsible for plotting only. The Civil engineer / Contractors responsible for horizontal control if a problem occurs the civil engineer / Contractor notify the Architect prior to start of construction.
2. The Contractor shall verify all site dimensions prior to start of construction and notify the Architect if any problem or discrepancies occur.
3. The Contractor shall verify finish floor elevations prior to start of construction.
4. Water meters shall note be located within driveways.
5. All building addresses shall be clearly seen from the street. See exterior elevations
6. No footing shall be located within 8'-0" of top of a slope. If such a condition occurs and is not indicated on these plans, notify the Architect.
7. See Sheet "A-2 & A-3" for additional information.
8. Verify all exterior flatwork with landscape plans. (N.I.C.)
9. Typical Driveways per Plan x 4" Thk. concrete over 4" clean sand. (verify and install per soils report recommendations) provide control joints at max. 12'-0" o.c. coordinate with soils report and landscape plans.
10. Typical flat work, per plan X 4" Thk concrete over 4" clean sand (verify and install per soils report recommendations) provide control joints at max 12'-0" o.c. coordinate with soils report & landscape plans

REMODEL, ADDITION AND ADU
HEALY'S RESIDENCE
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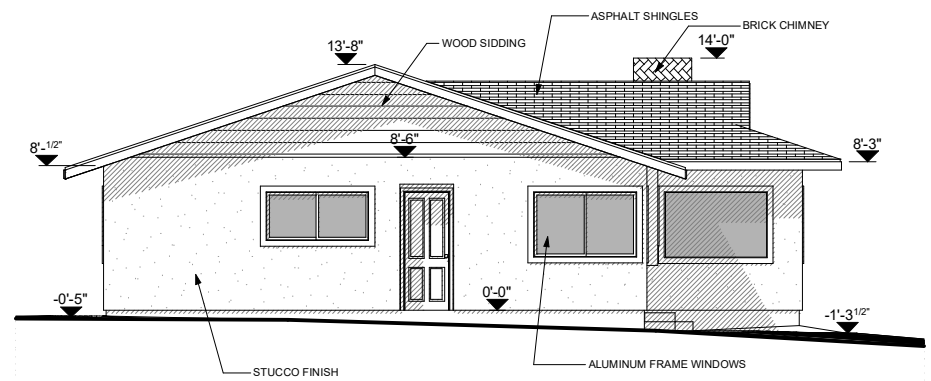


SITE PLAN

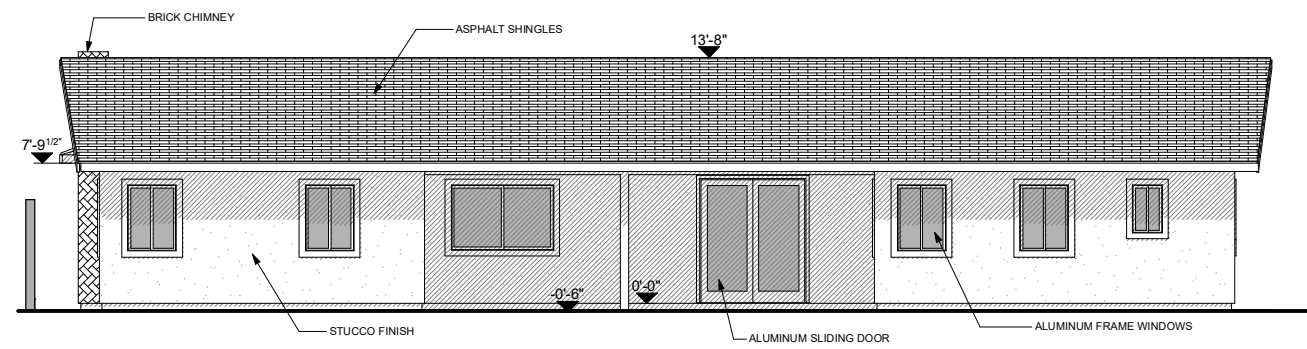
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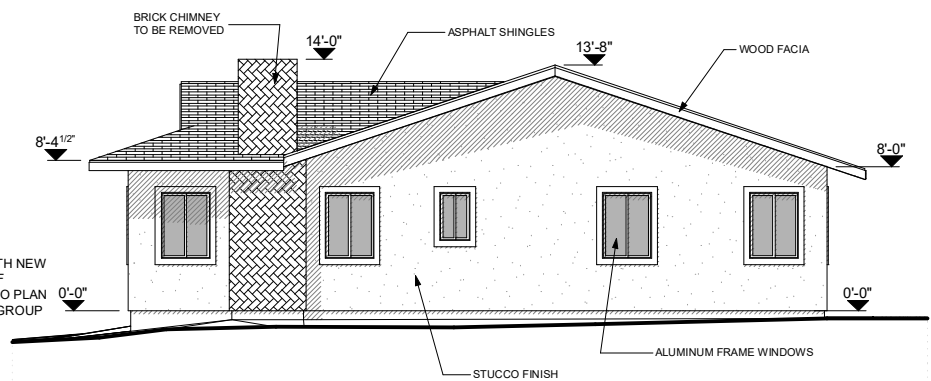
EXISTING WEST ELEVATION
3/16" = 1'-0"



EXISTING NORTH ELEVATION
3/16" = 1'-0"

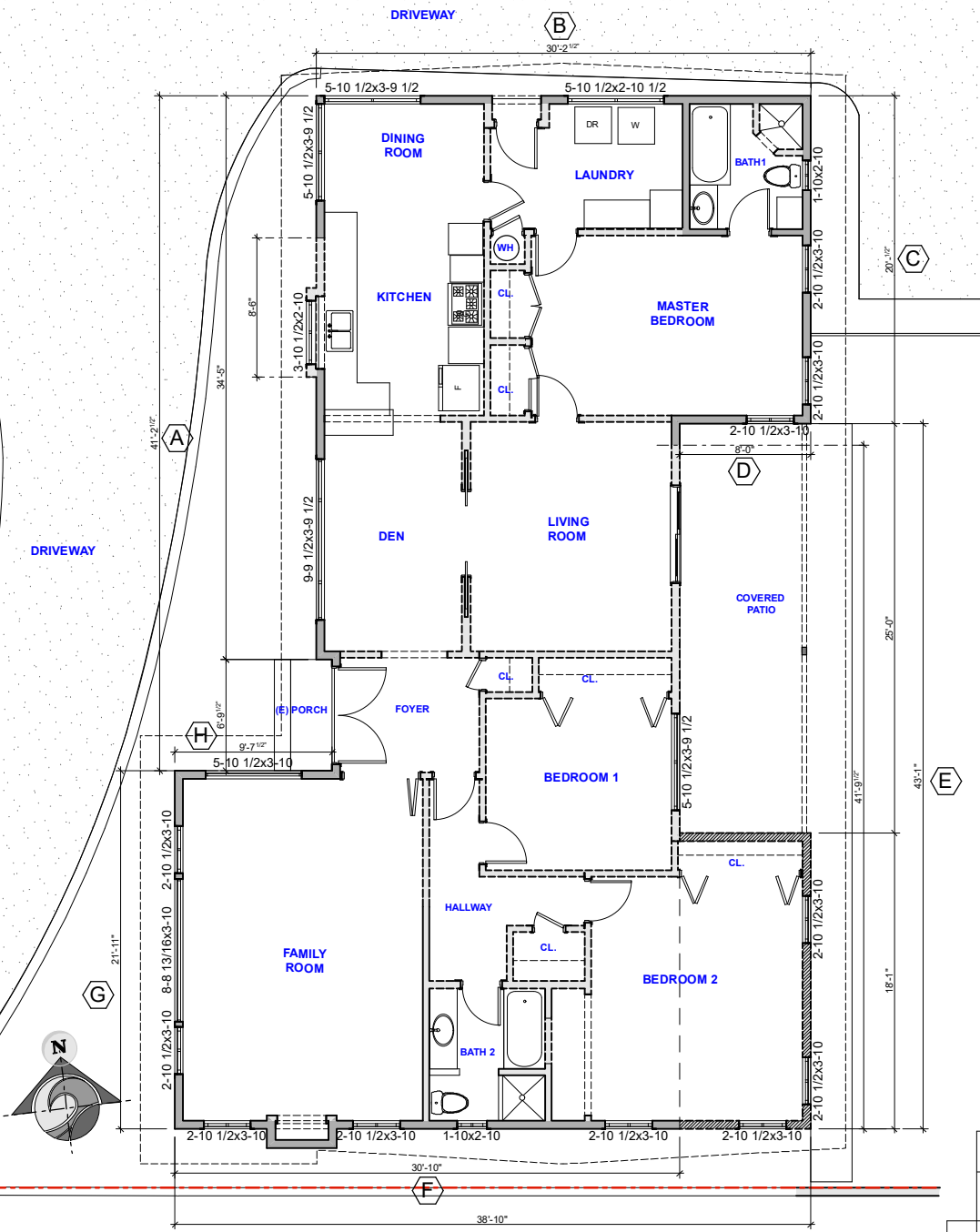


EXISTING EAST ELEVATION
3/16" = 1'-0"



EXISTING SOUTH ELEVATION
3/16" = 1'-0"

NOTE:
GENERAL CONTRACTOR TO FIELD VERIFY EXISTING FRAMING CONDITIONS WITH NEW WALL AND FOUNDATION REINFORCEMENT PER STRUCTURAL DESIGN PRIOR OF STARTING DEMOLITION. THE WALLS SHOULD REMAIN PER WALL MATRIX & DEMO PLAN AND NOT TO BE REMOVED FOR ANY CIRCUMSTANCES, CONTACT THE DESIGN GROUP



EXISTING FLOOR PLAN
3/16" = 1'-0"

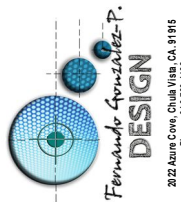
Floor Plan Legend

- Existing 2x Wall to remain
- Existing walls to be demolished
- Existing wall not permitted to be removed

WALL MATRIX			
WALL#	(E) WALL LENGHT	REMOVED WALL LENGHT	REMAINING WALL LENGHT
A	41.2'	8.5'	32.7'
B	30.20'	3'	27.20'
C	20.04'	0'	20.04'
D	8.0'	0'	8.0'
E	43.08'	41.79'	1.29'
F	30.83'	0'	30.83'
G	21.91'	0'	21.91'
H	9.62'	0'	9.62'
TOTAL	184.84'	53.29	131.55'
		28.80%	71.11%

LESS THAN 50% MAX ALLOWED

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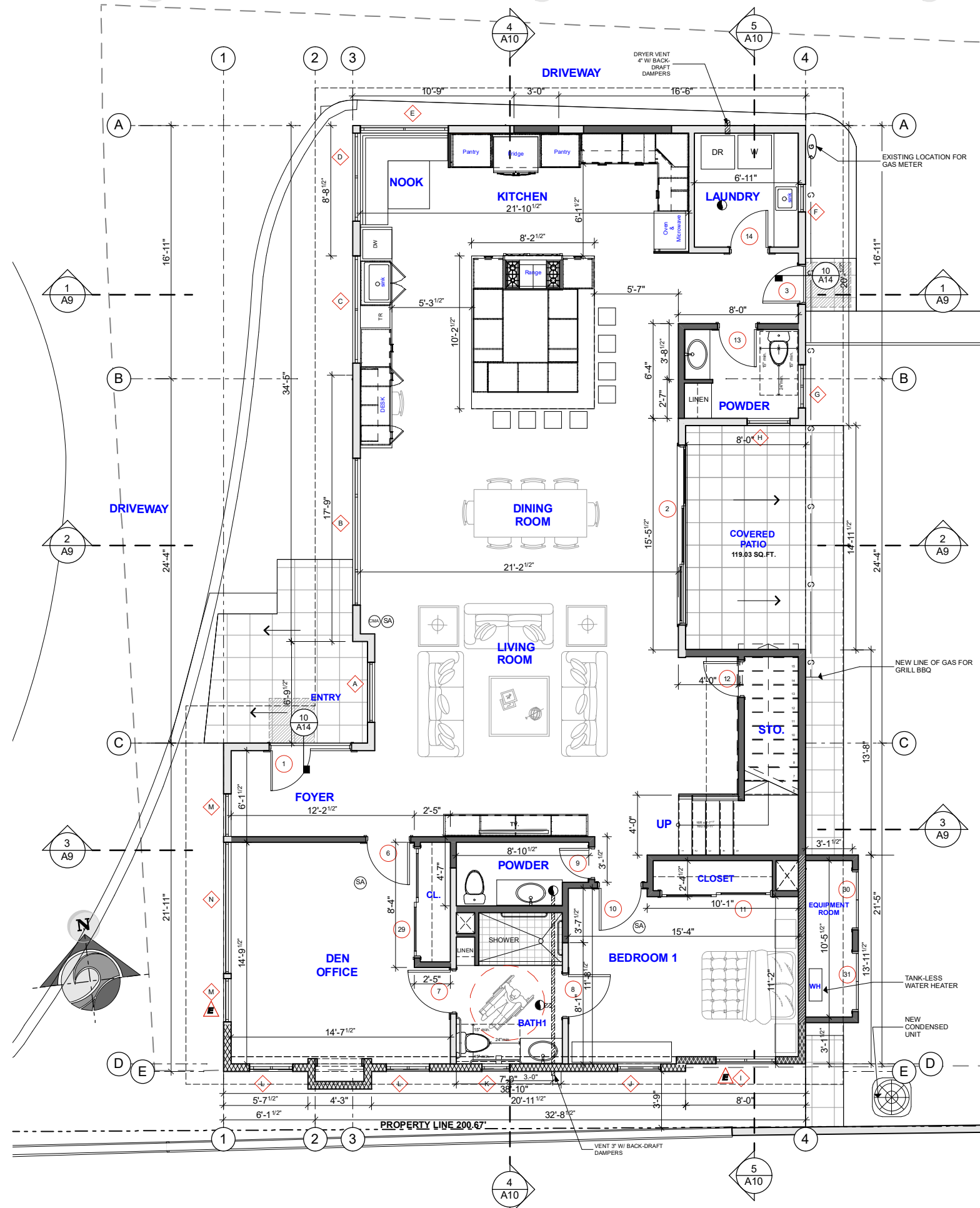
J. Gonzalez

Existing & Demo Plan

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PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0"

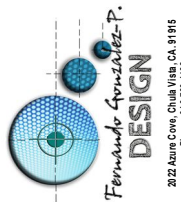
GENERAL NOTES:

1. ALL PLUMBING FIXTURES AND FITTINGS ILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2022 CBC
2. ALL WATER CLOSETS SHALL BE "ULTRA LOW FLUSH"
3. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
4. PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
5. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM).
6. PROVIDE WATER CLOSET A MAXIMUM FLOW OF 1.28 GALLONS FLUSH PER MINUTE (GPF).
7. PROVIDE MIXING VALVES AT SHOWER
8. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITY THE FOLLOWING:
 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 2. UNLESS FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDIDTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDIDTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT
9. NO CPVC STATE HEALTH & SAFETY CODE 104 @ 12" O.C. F.N.
10. MINIMUM CLEARANCES OF 15" FROM THE CENTER LINE OF WATER CLOSET & 24" IN FRONT OF WATER CLOSETS.
11. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC)
12. BATHROOMS REQUIRE EXHAUST FANS (MINIMUM 50 CFM) CFM AND NOISE RATING ("SONE") (GENERALLY 3 SONE MAX- AS USED INTERMITTENTLY). ALL INSTALLED EXHAUST FANS MUST BE SPECIFIED AT A NOISE RATING OF A MAXIMUM 1 "SONE" FOR THE CONTINUOUS USE OR MAXIMUM 3 "SONE" FOR THE INTERMITTENT USE.
13. ANY INSTALLED GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
14. *STATE HEALTH & SAFETY CODE BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING.
15. TUB/SHOWERS WALLS: COVER WALLS AND CEILINGS IN TUB & SHOWER COMPARTMENTS W/ 15# FELT. MATERIALS USED ON SUCH WALLS SHALL BE OF A TYPE NOT ADVERSELY AFFECTED BY MOISTURE.
16. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
17. ALL EXTERIOR AND INTERIOR WALLS ARE 2x4 @ 16" O.C. U.N.O. PER PLAN
18. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS".
19. SMOKE ALARMS SHALL BE PROVIDED EVERY EXISTING AND NEW BEDROOM (HARD WIRED W/ BATTERY BACK-UP) *SEE ELECTRICAL PLANS WITH ALL RELATED NOTES*
20. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. *SEE ELECTRICAL PLANS WITH ALL RELATED NOTES*
21. EGRESS WINDOWS SHALL HAVE A MAX. OF 44"
22. OUTDOOR SHOWER DRAINS AND SINKS ARE NOT PERMITTED TO CONNECT TO THE PUBLIC SEWER SYSTEM UNLESS EQUIPPED WITH AN APPROVED COVER. HOT AND COLD WATER CONNECTIONS ALLOWED.
22. ALL LUMINAIRES MOUNTED TO HE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY BOARD" OR SIMILAR ASSSEMBLIES THAT PROVIDE THE SAME LUMINAIRE OR MUST BE CONTROLLED BY A MOTION SENSOR AND CONTROLLED BY ONE OF THESE: PHOTOCONTROL OR ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS)
23. SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE THAT EXTENDS TO A HEIGH NOT LESS THAN 6 FEET ABOVE THE FLOOR.
24. SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED BATTERY-POWERED ALARMS ACCEPTABLE - IN EXIST CONSTRUCTION IN LOCATIONS SPECIFIED F.1 AND F.2 (CRC R314.2.2, CRC R135.2.2)
25. WATER HEATER: A.O. SMITH PROMAX DIRECT VENT MODEL GOV50L 50 GALLON CAPACITY, 40,000 BTUH, 91 GPH @60° F ENERGY FACTOR 0.62, 200 LBS.
26. 4" diameter domestic dryer moisture exhaust ducts shall not exceed a total combined horizontal and vertical length of 14 feet (4267 mm), including two 90 degree (1.57 rad) elbows. 5" inch diameter dryer ducts can run up to 25 feet. Exhaust ducts and dryer vents shall be equipped with back-draft dampers.

Floor Plan Legend

- EXISTING WALLS TO REMAIN.
- NEW 2X stud wall @16" O.C. w/ plywood sheathing per structural. Finish interior with 5/8" drywall. Exterior w/ stucco finish. Use greenboard in restrooms. use cement, or glass mat gypsum.
- EXISTING WALLS to remian adding interior with 5/8" Type "x" drywall. Exterior w/ stucco finish. to be 1 hr fire rated. See Det.8/A14
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- Smoke Detector
- CARBON MONOXIDE ALARM REQUIRED PER SECTION R315.2
- EMERGENCY ESCAPE
- Minimum 36" deep floor or landing on each side of each exterior door, with a slope not exceeding 1/4 unit vertical in 12 units horizontal (2%). The width of each landing shall not be less than the door served

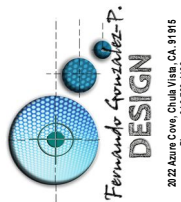
REMODEL, ADDITION AND ADU
HEALY'S RESIDENCE
 1161-1163 SUNSET CLIFFS BLDV, SAN DIEGO, CA 92107



Proposed House Main Floor plan

Date: 04-10-25
 Scale:
 Drawn: Fer
 Job: 00000
 Sheet Number:
A2
 Total sheet count:

REMODEL, ADDITION AND ADU
HEALY'S RESIDENCE
 1161-1163 SUNSET CLIFFS BLDV, SAN DIEGO, CA 92107



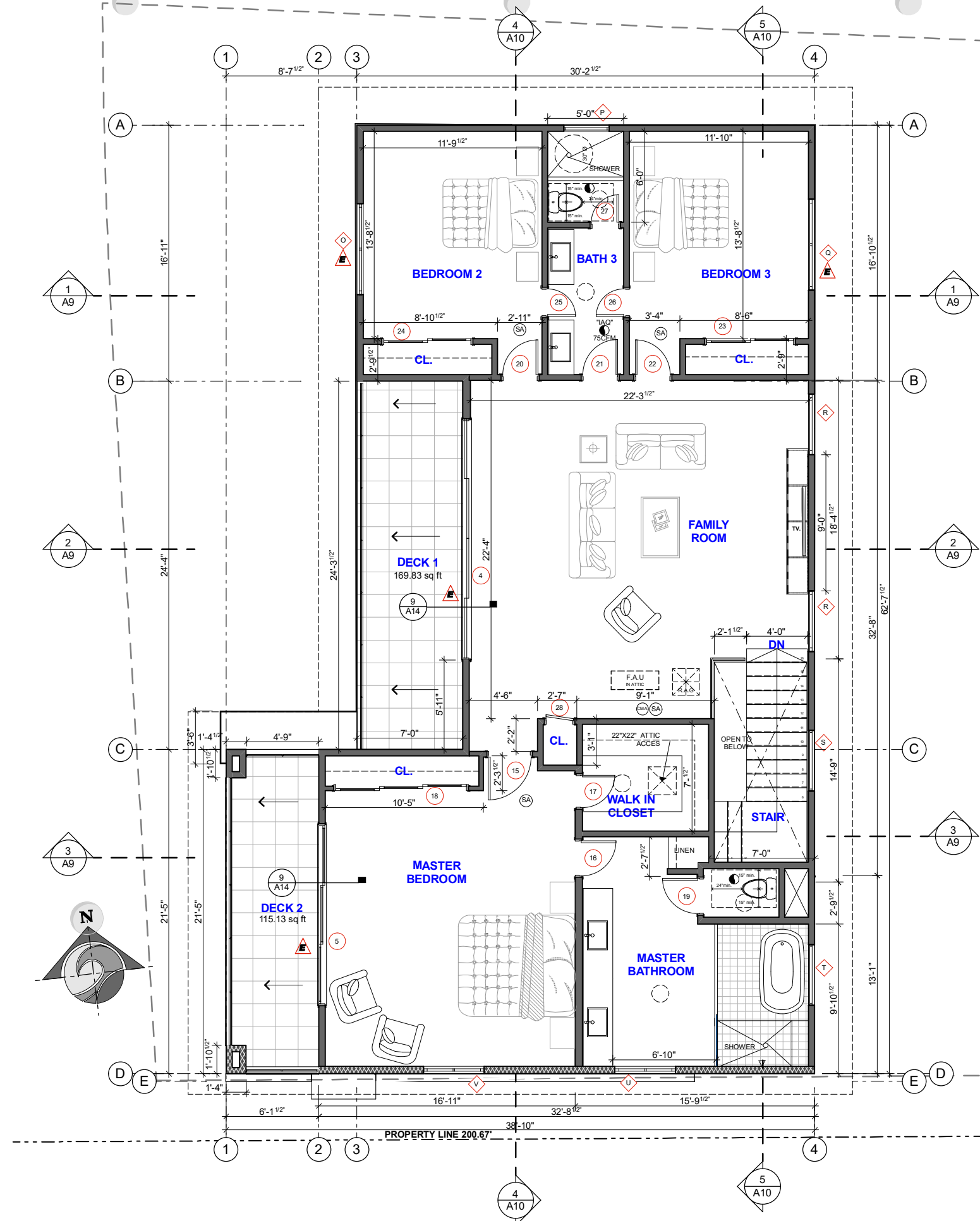
Proposed House Upper level Floor plan
 Date: 04-10-25
 Scale:
 Drawn: Fer
 Job: 00000
 Sheet Number:
A3
 Total sheet count:

GENERAL NOTES:

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- ALL WATER CLOSETS SHALL BE "ULTRA LOW FLUSH"
- PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM).
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- PROVIDE MIXING VALVES AT SHOWER
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 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
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- NO CPVC STATE HEALTH & SAFETY CODE 10d @ 12" O.C. F.N.
- MINIMUM CLEARANCES OF 15" FROM THE CENTER LINE OF WATER CLOSET & 24" IN FRONT OF WATER CLOSETS.
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- EXISTING WALLS TO REMAIN.
- NEW 2X stud wall @16" O.C. w/ plywood sheathing per structural. Finish interior with 5/8" drywall. Exterior w/ stucco finish. Use greenboard in restrooms. use cement, or glass mat gypsum.
- EXISTING WALLS to remain adding interior with 5/8" Type "x" drywall. Exterior w/ stucco finish. to be 1 hr fire rated. See Det.8/A14
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- NEW WALLS with 5/8" Type "x" drywall interior. Exterior w/ stucco finish. to be 1 hr fire rated and STC 50. See Det.9/A14
- RETURN AIR GRILL (SA) Smoke Detector
- CARBON MONOXIDE ALARM REQUIRED PER SECTION R315.2
- EMERGENCY ESCAPE
- Minimum 36" deep floor or landing on each side of each exterior door, with a slope not exceeding 1/4 unit vertical in 12 units horizontal (2%). The width of each landing shall not be less than the door served



PROPOSED UPPER FLOOR PLAN
 1/4" = 1'-0"

WATERPROOFING DECKING MATERIAL



ICC-ES Evaluation Report

ESR-1714

Reissued May 2024
 Revised January 2025
 Subject to renewal May 2025

This report also contains:
 - CA Supplement
 - FL Supplement

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DIVISION: 07 00 00— THERMAL AND MOISTURE PROTECTION Section: 07 18 13— Pedestrian Traffic Coatings	REPORT HOLDER: CROSSFIELD PRODUCTS CORP. - MIRACOTE DIVISION	EVALUATION SUBJECT: MIRACOTE MIRAFLEX WATERPROOFING DECKING SYSTEMS	
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1.0 EVALUATION SCOPE

- Compliance with the following codes:
- 2024, 2021, 2018, 2015, 2012, 2009 and 2006 [International Building Code® \(IBC\)](#)
 - 2024, 2021, 2018, 2015, 2012, 2009 and 2006 [International Residential Code® \(IRC\)](#)
 - 2013 Abu Dhabi International Building Code (ADIBC)*
- *The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

- Properties evaluated:
- Durability
 - Wind resistance
 - Fire classification
 - Fire-resistance-rated construction

2.0 USES

The Miracote Miraflex Waterproofing Decking Systems are walking deck and Class A roof covering systems for use directly over concrete or plywood substrates. The systems may also be used as a component of a one-hour fire-resistance-rated roof assembly as described in Section 4.9 of this report.

3.0 DESCRIPTION

3.1 General:
 Miracote Miraflex Waterproofing Decking Systems are polymer-modified, cementitious walking deck and roof covering systems that consist of expanded metal lath; polymer-modified cementitious mortar base coat; a polymeric waterproofing layer; reinforcing fabric or seam tape; a protection coat; and either a topcoat or a sealer coat. See Section 4.0 and Tables 1 and 2 for Miracote Miraflex Waterproofing Decking system configurations and corresponding component requirements.

3.2 Materials:
3.2.1 General: Miracote Miraflex Waterproofing Decking System's powder and liquid components have a shelf life of one year when stored indoors at temperatures between 40°F and 100°F (4.4°C and 37.8°C). Liquid components must be kept from freezing.

3.2.2 Base Coat Components
3.2.2.1 MiraPatch RM 1 (Repair Mortar) Powder: A proprietary dry mixture of Portland cement and graded aggregates supplied in 50-pound (22.7 kg) bags.

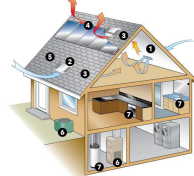


Total Vents: **32**



VENT PLACEMENT RECOMMENDATIONS	
High / Exhaust Vents Needed: (Within 3' of Ridge Assembly)	16
Low / Intake Vents: (Within Lower 1/3 of Attic)	16

INSTALLING A CODE-REQUIRED BALANCED VENTILATION SYSTEM CREATES SUPERIOR AIR MOVEMENT



Benefits:

1. Extends the life of your roof by lowering temps in warmer months and removing moisture in cooler months.
2. Enhances curb appeal with shingle-over installation.
3. Secures maximum efficiency through a balanced design. (50% High/Exhaust and 50% Low/Intake)
4. Patented design installs below solar panels.
5. Shingle manufacturers warranties require compliance with attic ventilation codes such as the IRC & IBC.
6. Promotes a healthy home, reduces moisture and trapped gases to improve indoor air quality.
7. Conserves energy by naturally introducing ambient air into the attic while exhausting stagnant air.

VENTILATION SOLUTIONS FOR ALL ROOFS AND CLIMATIC CONDITIONS	
TRADITIONAL 26 Gauge G90 Galvanized Steel; 2" Flange subflashing with 1/4" noncombustible corrosion-resistant wire mesh.	FIRE-RESISTANT 26 Gauge G90 Galvanized Steel; 2" Flange subflashing with 1/4" noncombustible corrosion-resistant wire mesh AND patented stainless steel fine/flexible wire filament.
WEATHER-RESISTANT 26 Gauge G90 Galvanized Steel; 2" Flange subflashing with 1/4" noncombustible corrosion-resistant wire mesh AND patented stainless steel fine/flexible wire filament.	

www.ohagin.com
210 Classic Court, Suite 100
Rohnert Park, CA 94928
Toll Free 877-324-0444 • Fax 707-588-9187

Address:
1161 SUNSET CLIFFS BLVD. RESIDENCE

TOTAL SQUARE FEET OF ATTIC SPACE TO BE VENTILATED:
2,076.71

Total Square Feet of Attic Space to be Ventilated: 2,076.71
Code Required Method: 1/150 (EXCEPTION)
Calculation:
2,076.71 ÷ 150 = 13.84 sq. ft. of Code Required Ventilation

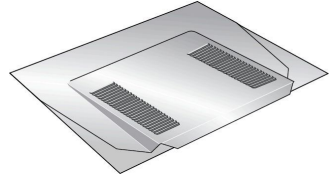
CONVERT SQUARE FEET OF CODE-REQUIRED VENTILATION TO SQUARE INCHES

Square Feet of Code Required Ventilation: 13.84
Calculation:
13.84 × 144 = 1,992.96 sq. in. of Code Required Ventilation
Square Inches Provided: (32 × 64.80) = 2,073.60 sq. in.

O'HAGIN COMPOSITION SHINGLE LOW PROFILE (TAPERED)

NET FREE VENTILATION AREA	
1/8" Noncombustible, Corrosion-Resistant Wire Mesh	64.80 sq. in.

Figures based on independent evaluation report.



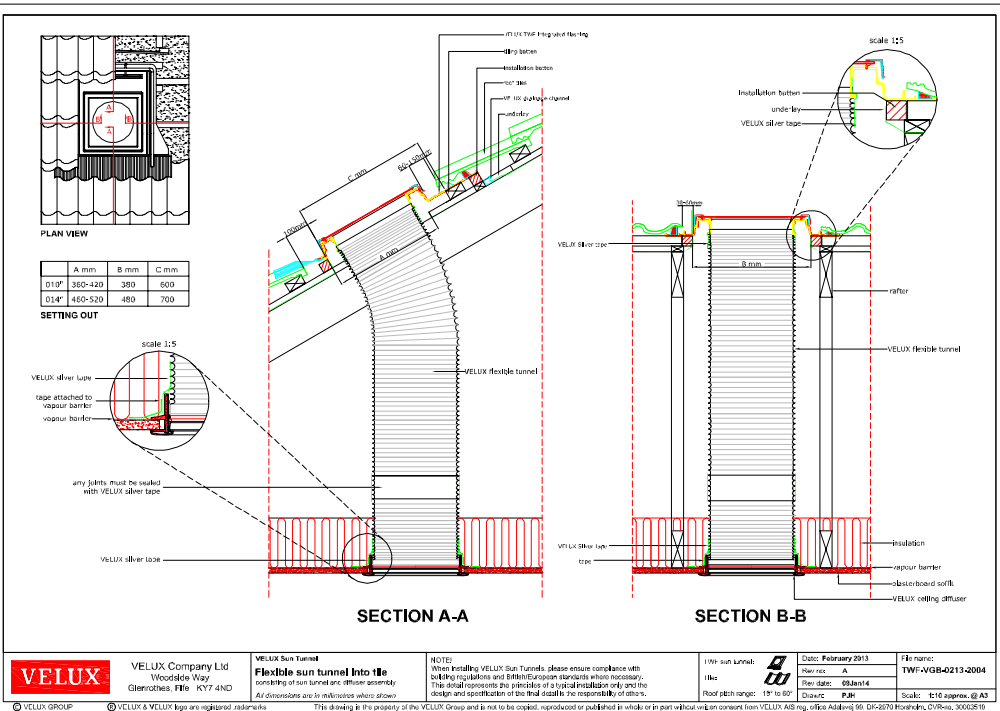
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TRADITIONAL 26 Gauge G90 Galvanized Steel; 2" Flange subflashing with 1/4" noncombustible corrosion-resistant wire mesh.	FIRE-RESISTANT 26 Gauge G90 Galvanized Steel; 2" Flange subflashing with 1/4" noncombustible corrosion-resistant wire mesh AND patented stainless steel fine/flexible wire filament.	WEATHER-RESISTANT 26 Gauge G90 Galvanized Steel; 2" Flange subflashing with 1/4" noncombustible corrosion-resistant wire mesh AND patented stainless steel fine/flexible wire filament.
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*Brands and Trademarks may vary by region.

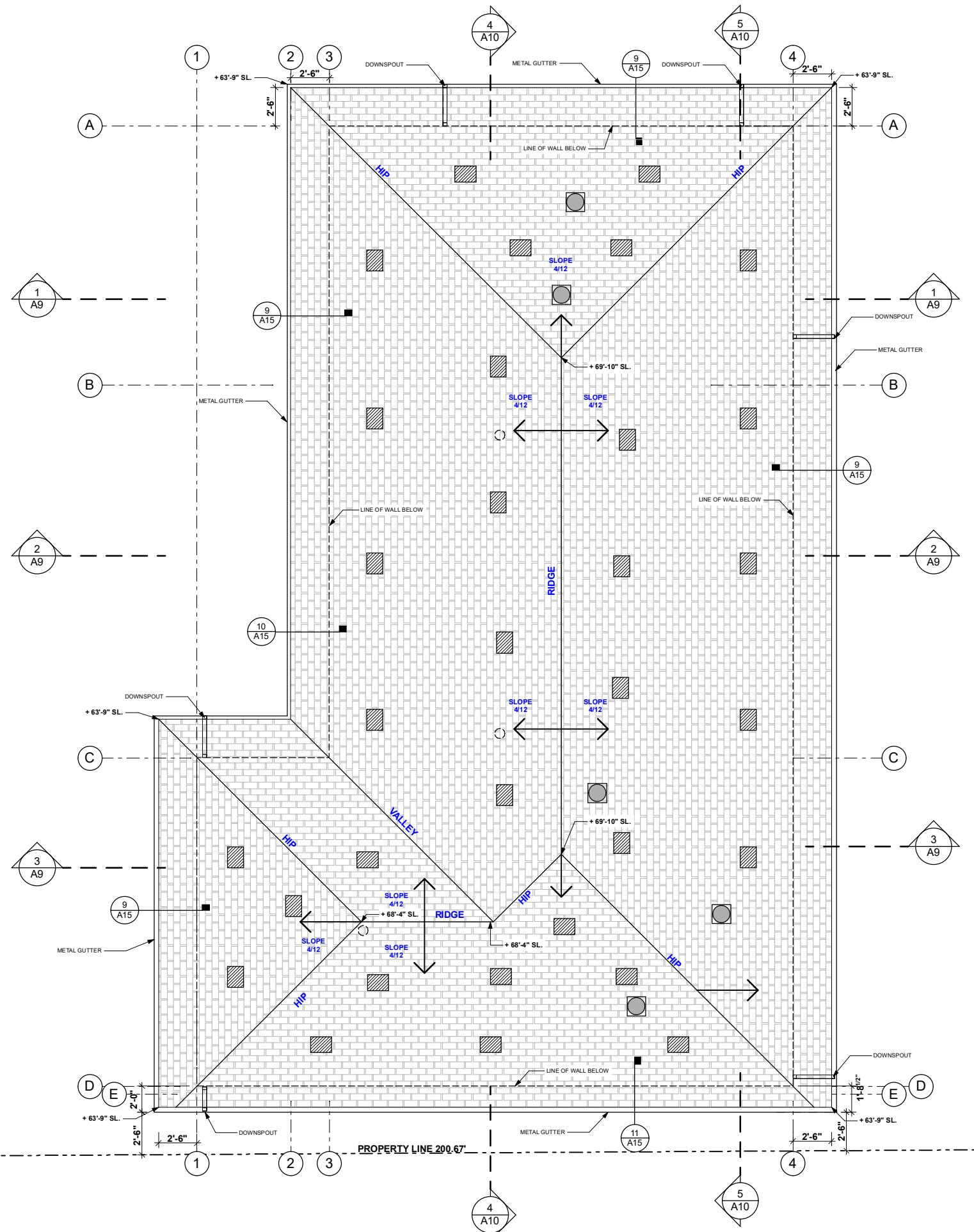
DO LIVE IN A HIGH FIRE ZONE?

WILDFIRE RISK TO COMMUNITIES



SUN TUNNEL DETAIL

1:1.54



ROOF PLAN GENERAL NOTES

1. NEW " ROOFING ASSEMBLY . CLASS "A" CERTAINEED ASPHALT ROOF SHINGLE ICC ESR 3537 ROOFING MATERIAL TO BE INSTALLED OVER TWO LAYERS OF 40# BUILDING PAPER.
2. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING AND NAILING REQUIREMENTS
3. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE.
4. ALL BALCONIES AND DECKS EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE SLOPED A MINIMUM OF 2% FOR DRAINAGE. WATERPROOFING TO BE ACHIEVED WITH MIRACOT MIRAFLEX ICC ESR-1714 MUST BE WATER PROOFING & CLASS "A"
5. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH OPENINGS OF 1/4" DIMENSION.
6. ALL EAVES TO HAVE VENT BLOCKING THROUGHOUT TO PROVIDE A MINIMUM VENT AREA OF 1:150 OF ATTIC AREA.
7. PROVIDE A MINIMUM OF 1" AIR SPACE BETWEEN THE INSULATION AND THE ROOF SHEATHING.
8. ALL ROOF JACKS, PIPES, PANS, & CHIMNEY COVERS TO HAVE TWO COATS OF PRIMER AND ONE COAT OF INDUSTRIAL GRADE ENAMEL.
9. ALL HORIZONTAL STORM DRAIN PIPING SHALL HAVE A SLOPE OF 1/4" PER FT.

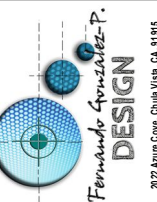
Roof Plan Legend

- Roof vent, O'Hagin attic vent. 1.8" Noncombustible, corrosion resistant Wire Mesh, 26 gauge G90
- VELUX SUN TUNNEL SKYLIGHT ICC-ES : ESR-4108

REMODEL, ADDITION AND ADU

HEALY'S RESIDENCE

1161-1163 SUNSET CLIFFS BLDV, SAN DIEGO, CA 92107

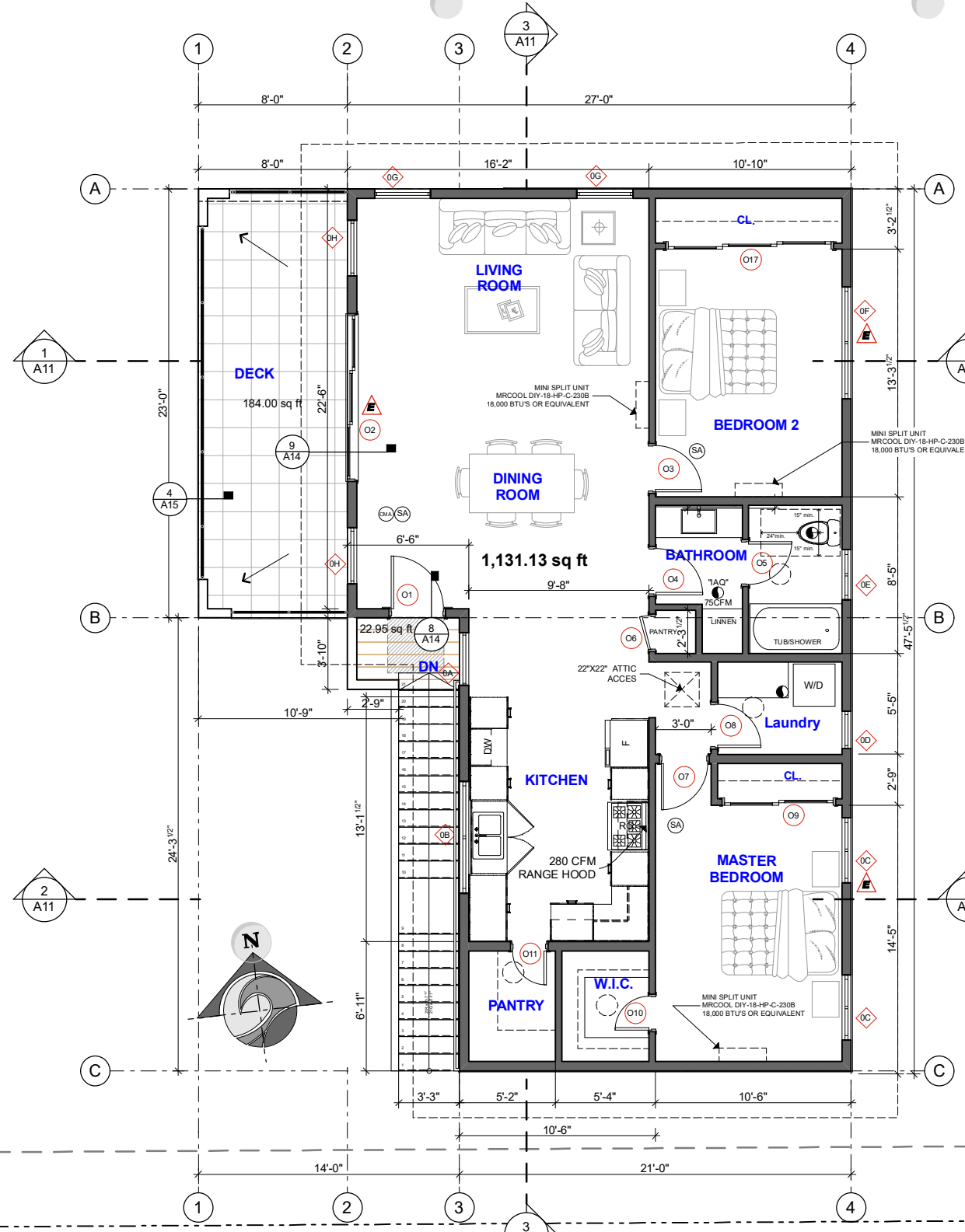


Proposed House Roof Plan

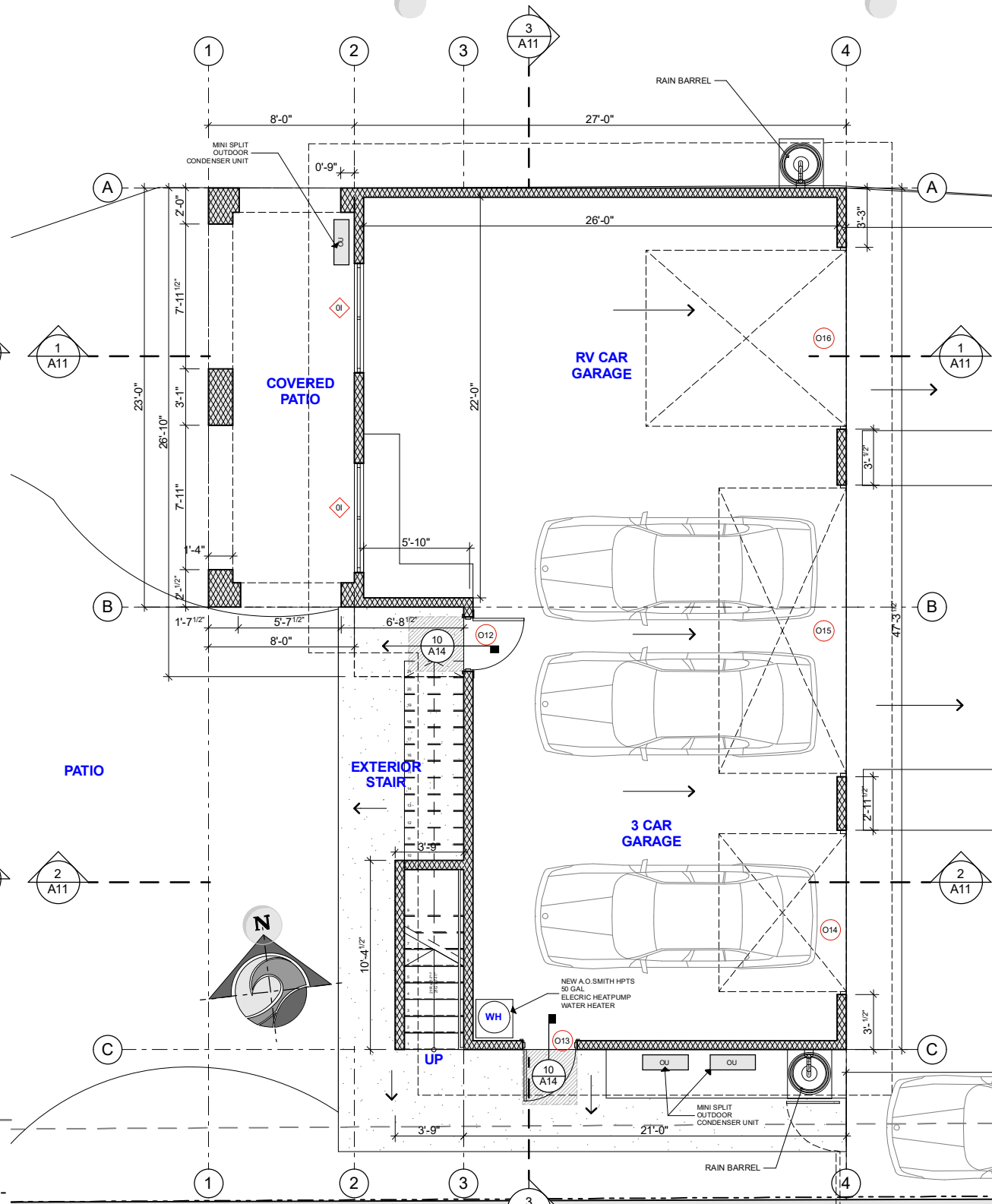
Date: 04-10-25
Scale:
Drawn: Fer
Job: 00000
Sheet Number:

A4

Total sheet count



PROPOSED ADU FLOOR PLAN
1/4" = 1'-0"



PROPOSED GARAGE FLOOR
1/4" = 1'-0"

GENERAL NOTES:

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3. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
4. PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
5. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM).
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9. NO CPVC STATE HEALTH & SAFETY CODE 10d @ 12" O.C. F.N.
10. MINIMUM CLEARANCES OF 15" FROM THE CENTER LINE OF WATER CLOSET & 24" IN FRONT OF WATER CLOSETS.
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- NEW WALLS adding interior with 5/8" Type "x" drywall. Exterior w/ stucco finish. to be 1 hr fire rated. See Det. 8/A14
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ES ICC EVALUATION SERVICE™

WATERPROOFING DECKING MATERIAL

ICC-ES Evaluation Report

ESR-1714

Reissued May 2024
Revised January 2025
Subject to renewal May 2025

This report also contains:
- CA Supplement
- FL Supplement

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DIVISION: 07 00 00— THERMAL AND MOISTURE PROTECTION	REPORT HOLDER: CROSSFIELD PRODUCTS CORP. - MIRACOTE DIVISION	EVALUATION SUBJECT: MIRACOTE MIRAFLEX WATERPROOFING DECKING SYSTEMS	
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Section: 07 18 13—
Pedestrian Traffic
Coatings

Revisions:

REMODEL, ADDITION AND ADU

HEALY'S RESIDENCE

1161-1163 SUNSET CLIFFS BLDV, SAN DIEGO, CA 92107

Fernando Gonzalez P.
DESIGN

2022 Aure Cove, Chula Vista, CA 91915
Phone: 619.739.4922

J. J. [Signature]

Proposed Garage/ADU Floor Plan

Date: 04-10-25
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Job: 00000
Sheet Number:

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Total sheet count:

AGING-IN-PLACE DESIGN AND FALL PREVENTION NOTES:

Application: Newly constructed dwellings /ADUs /JADUs subject to the requirements of CRC shall be designed and constructed in accordance with CRC Sections R327.1.1 through R 327.1.4 .

A. Reinforcement for grab bars (CR C R 327.1.1): At least one bathroom on the entry-level shall be provided with reinforcement installed in accordance with CRC R327.1.1. Where there is no bathroom on the entry-level, at least one bathroom on the second or third floor of the dwelling shall comply.

1. Reinforcement shall be solid lumber or other approved construction materials .
2. Reinforcement for grabbars shall not be less than 2 by 8 inch nominal lumber [1.5 inch by 7.25 inch actual dimension] or other approved construction material providing equal height and load capacity. Reinforcement shall be located between 32 inches and 39 1/4 inches above the finished floor flush with the wall framing.
3. Water closet reinforcement shall be installed on both side walls of the fixture, or one side wall and the back wall.
4. Shower reinforcement shall be continuous where wall framing is provided.
5. Bathtub and combination bathtub/shower reinforcements shall be continuous on each end of the bathtub and the back wall. Additionally, back wall reinforcement for a lower grab bar shall be provided with the bottom edge located no more than 6 inches above the bathtub rim.

B. Electrical receptacle outlet, switch and control heights (CR C R 327.1.2): "Electrical receptacle outlets , switches and contro ls (including contro ls for heating, ventilation and air conditioning) intended to be used by occupants shall be located no more than 48 inches measured from the top of the outlet box and not less than 15 inches measured from the bottom of the outlet box above the finish floor.

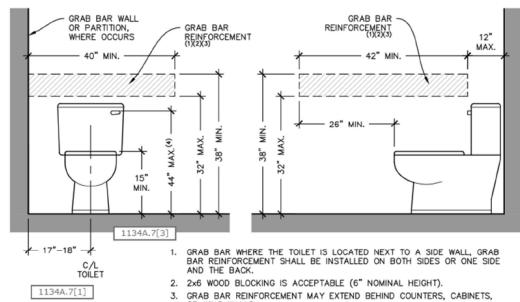
Exceptions :
1. Dedicated receptacle outlets ; floor receptacle outlets ; contro ls mounted on ceiling fans and ceiling lights ; and contro ls located on appliances .

2. Receptacle outlets required by the California Electrical Code on a wall space where the distance between the finished floor and a built-in feature above the finish floor, such as a window, is less than 15 inches ."

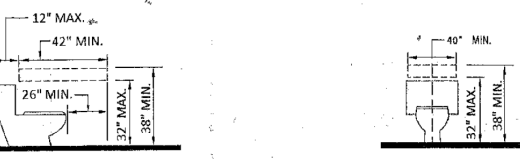
C. Doorbell buttons (CR C R 327.1.4) :
"Doorbell buttons or controls shall not exceed 48 inches above exterior floor or landing, measured from the top of the doorbell button assembly. Where doorbell buttons integrated with other features are required to be installed above 48 inches measured from the exterior floor or landing, a standard doorbell button or control shall also be provided at a height not exceeding 48 inches above exterior floor or landing, measured from the top of the doorbell button or control".

d) Water closet reinforcement shall be installed on both side walls of the fixture, or one side wall and the back wall.

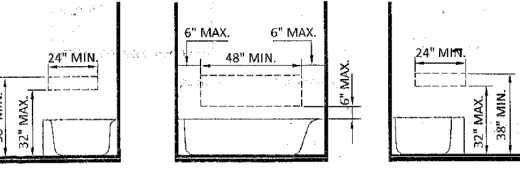
Toilets within Covered Dwelling Units



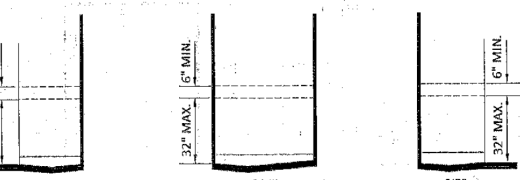
TOILET WITH SIDE WALL WITHIN COVERED DWELLING



(a) GRAB BAR REINFORCEMENT FOR ADAPTABLE WATER CLOSETS



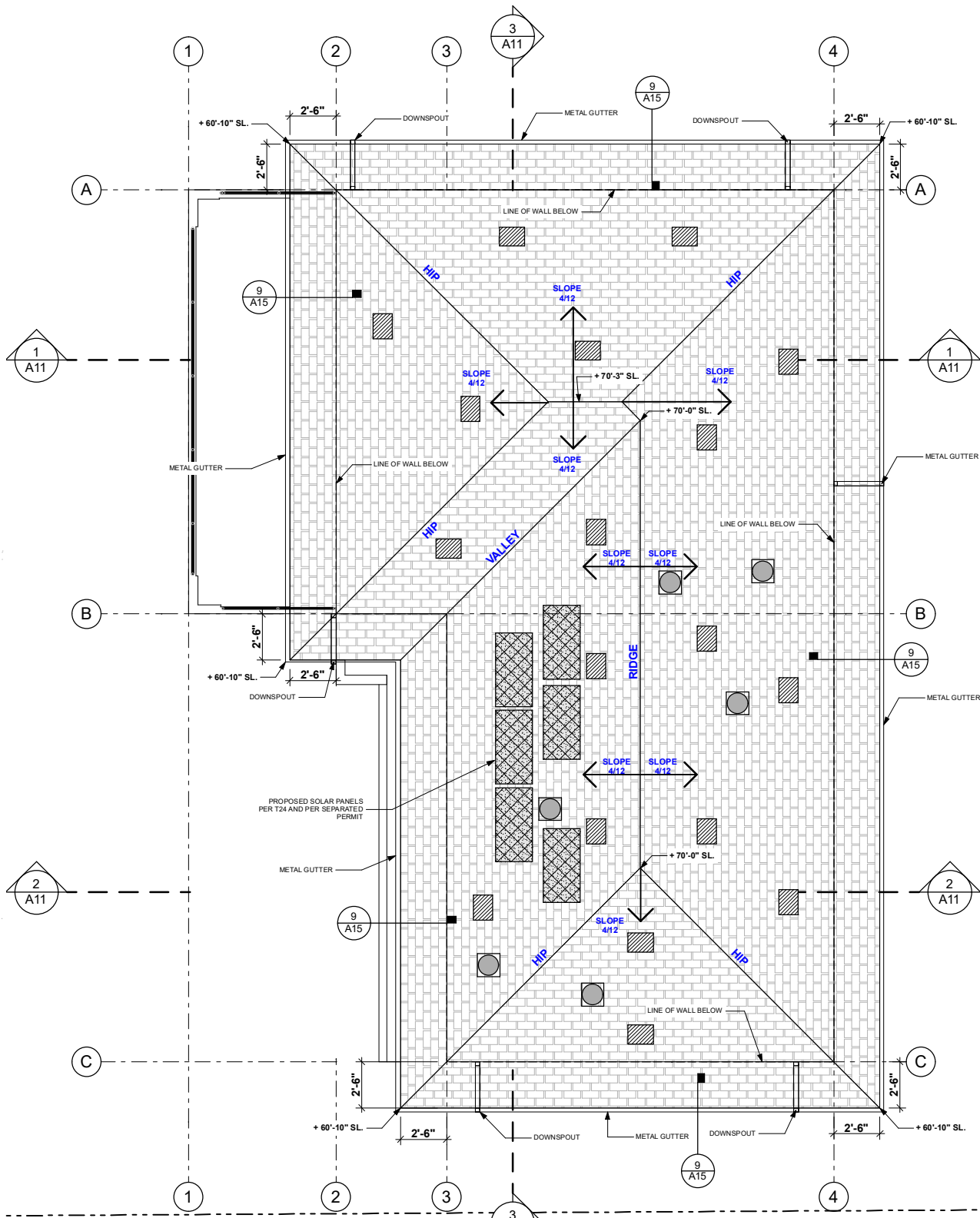
(b) GRAB BAR REINFORCEMENT FOR ADAPTABLE BATHTUBS



(c) GRAB BAR REINFORCEMENT FOR ADAPTABLE SHOWERS

AREAS OUTLINED IN DASHED LINES REPRESENT LOCATION FOR FUTURE INSTALLATION OF GRAB BARS

FIGURE 11A-9G REINFORCEMENT FOR GRAB BARS



PROPOSED ADU ROOF PLAN

1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

1. NEW " ROOFING ASSEMBLY, CLASS "A" CERTAINEED ASPHALT ROOF SHINGLE ICC ESR 3537 ROOFING MATERIAL TO BE INSTALLED OVER TWO LAYERS OF #40# BUILDING PAPER.
2. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING AND NAILING REQUIREMENTS
3. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE.
4. ALL BALCONIES AND DECKS EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE SLOPED A MINIMUM OF 2% FOR DRAINAGE. WATERPROOFING TO BE ACHIEVED WITH WESTCOAT ALX ICC ESR-2201 MUST BE WATER PROOFING & CLASS "A"
5. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH OPENINGS OF 1/4" DIMENSION.
6. ALL EAVES TO HAVE VENT BLOCKING THROUGHOUT TO PROVIDE A MINIMUM VENT AREA OF 1:150 OF ATTIC AREA.
7. PROVIDE A MINIMUM OF 1" AIR SPACE BETWEEN THE INSULATION AND THE ROOF SHEATHING.
8. ALL ROOF JACKS, PIPES, PANS, & CHIMNEY COVERS TO HAVE TWO COATS OF PRIMER AND ONE COAT OF INDUSTRIAL GRADE ENAMEL.
9. ALL HORIZONTAL STORM DRAIN PIPING SHALL HAVE A SLOPE OF 1/4" PER FT.

Roof Plan Legend

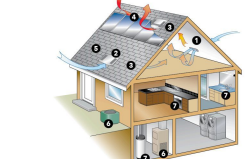
- Roof vent, O'Hagin attic vent, 1.8" Noncombustible, corrosion resistant Wire Mesh, 26 gauge G90
- ROOF VENTILATION 1/150
- VELUX SUN TUNNEL SKYLIGHT ICC-ES : ESR-4108

Total Vents: **18**



VENT PLACEMENT RECOMMENDATIONS	
High / Exhaust Vents Needed: (Within 3' of Ridge Assembly)	9
Low / Intake Vents: (Within Lower 1/3 of Attic)	9

INSTALLING A CODE-REQUIRED BALANCED VENTILATION SYSTEM CREATES SUPERIOR AIR MOVEMENT

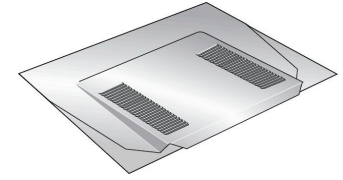


- Benefits:
1. Extends the life of your roof by lowering temps in warmer months and removing moisture in cooler months.
 2. Enhances curb appeal with shingle-over installation.
 3. Secures maximum efficiency through a balanced design. (50% high/low and 50% low/high)
 4. Patented design installs below solar panels.
 5. Shingle manufacturers warranties require compliance with attic ventilation codes such as the IRC & IECC.
 6. Promotes a healthy home, reduces moisture and trapped gases to improve indoor air quality.
 7. Conserves energy by naturally introducing ambient air into the attic while exhausting stagnant air.

Address: 1161 SUNSET CLIFFS BLVD. ADU
TOTAL SQUARE FEET OF ATTIC SPACE TO BE VENTILATED
Total Square Feet of Attic Space to be Ventilated: 1,133.12
Code Required Method: 1/150 (EXCEPTION)
Calculation: 1,133.12 ÷ 150 = 7.54 sq. ft. of Code Required Ventilation

CONVERT SQUARE FEET OF CODE-REQUIRED VENTILATION TO SQUARE INCHES
Square Feet of Code Required Ventilation: 7.54
Calculation: 7.54 x 144 = 1,085.76 sq. in. of Code Required Ventilation
Square Inches Provided: (15 x 64.80) = 1,266.40 sq. in.

O'HAGIN COMPOSITION SHINGLE LOW PROFILE (TAPERED)
NET FREE VENTILATION AREA
1.8" Noncombustible, Corrosion-Resistant Wire Mesh 64.80 sq. in.



VENTILATION SOLUTIONS FOR ALL ROOFS AND CLIMATIC CONDITIONS

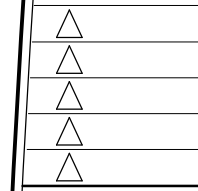
TRADITIONAL	FIRE-RX	WEATHER-RESISTANT
26 Gauge G90 Galvanized Steel; 2" Flange subframing with 1/4" noncombustible corrosion-resistant wire mesh.	26 Gauge G90 Galvanized Steel; 2" Flange subframing with 1/8" noncombustible corrosion-resistant wire mesh AND patented stainless steel fine/flexible wire filament.	26 Gauge G90 Galvanized Steel; 2" Flange subframing with 1/4" noncombustible corrosion-resistant wire mesh AND patented stainless steel fine/flexible wire filament.

*Brands and Trademarks may vary by region.

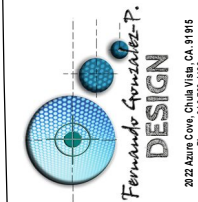
www.ohagin.com
210 Classic Court, Suite 100
Rohnert Park, CA 94928
Toll Free 877-324-0444 • Fax 707-588-9187



Revisions:



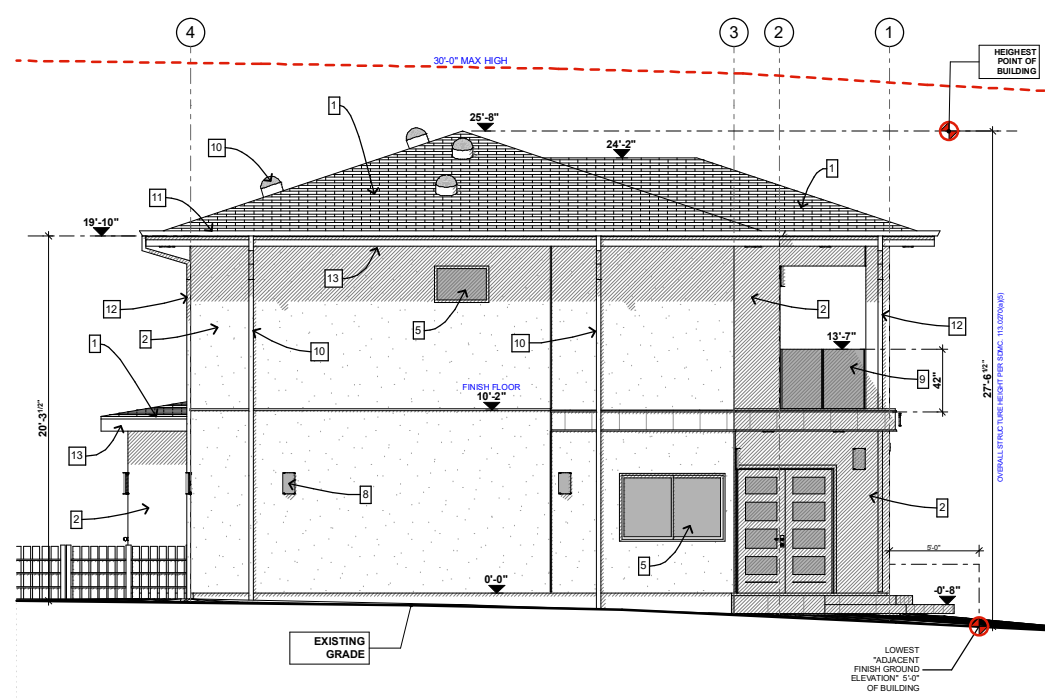
REMODEL, ADDITION AND ADU
HEALY'S RESIDENCE
1161-1163 SUNSET CLIFFS BLDV, SAN DIEGO, CA 92107



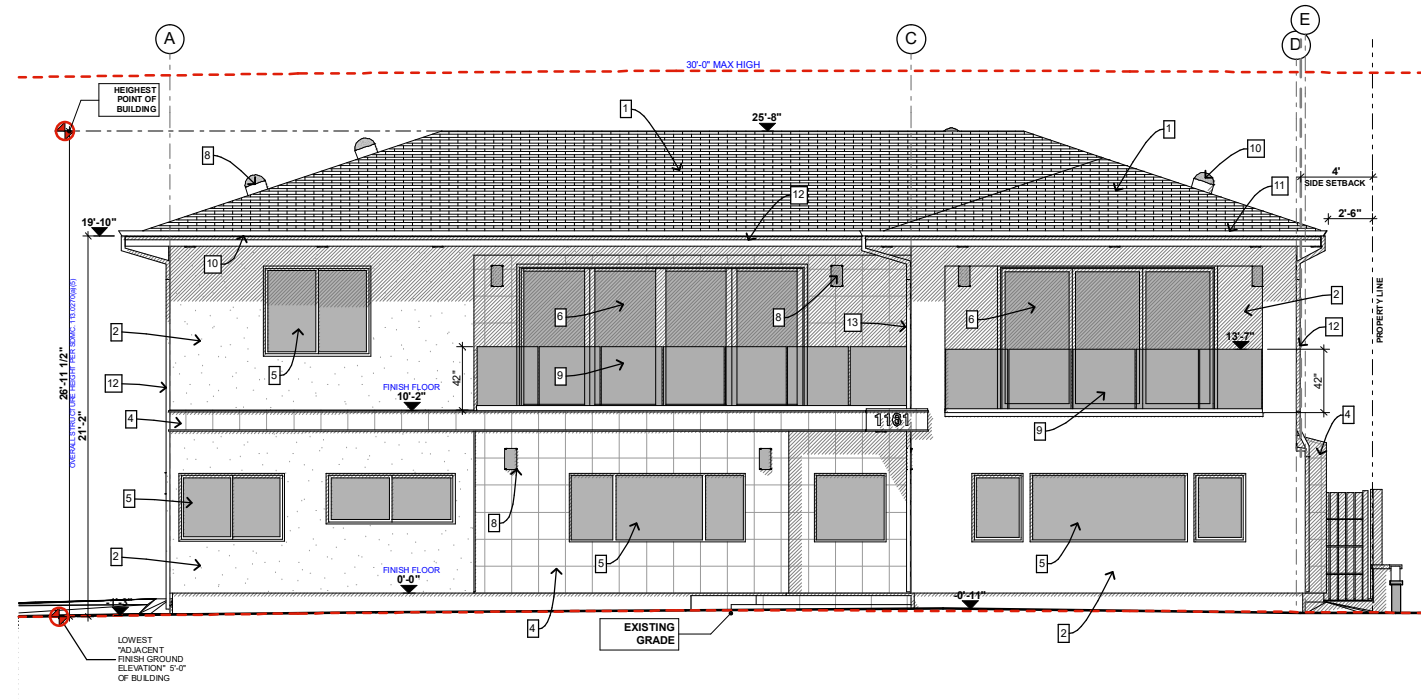
Proposed Garage/ADU
Roof plan

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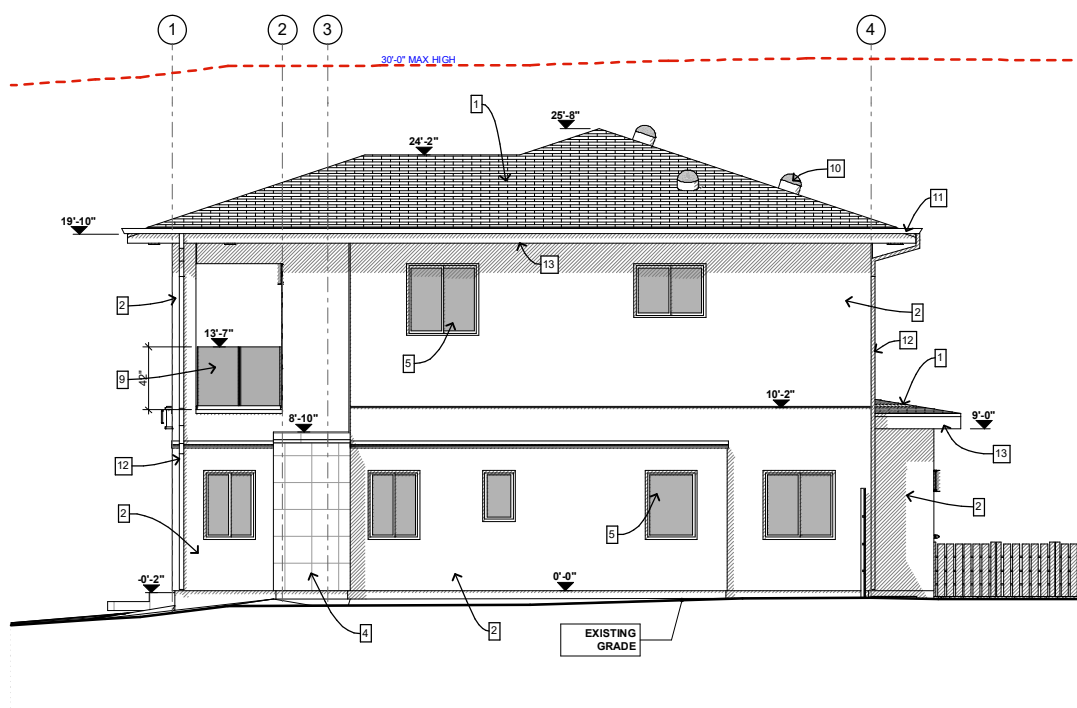
NORTH ELEVATION
3/16" = 1'-0"



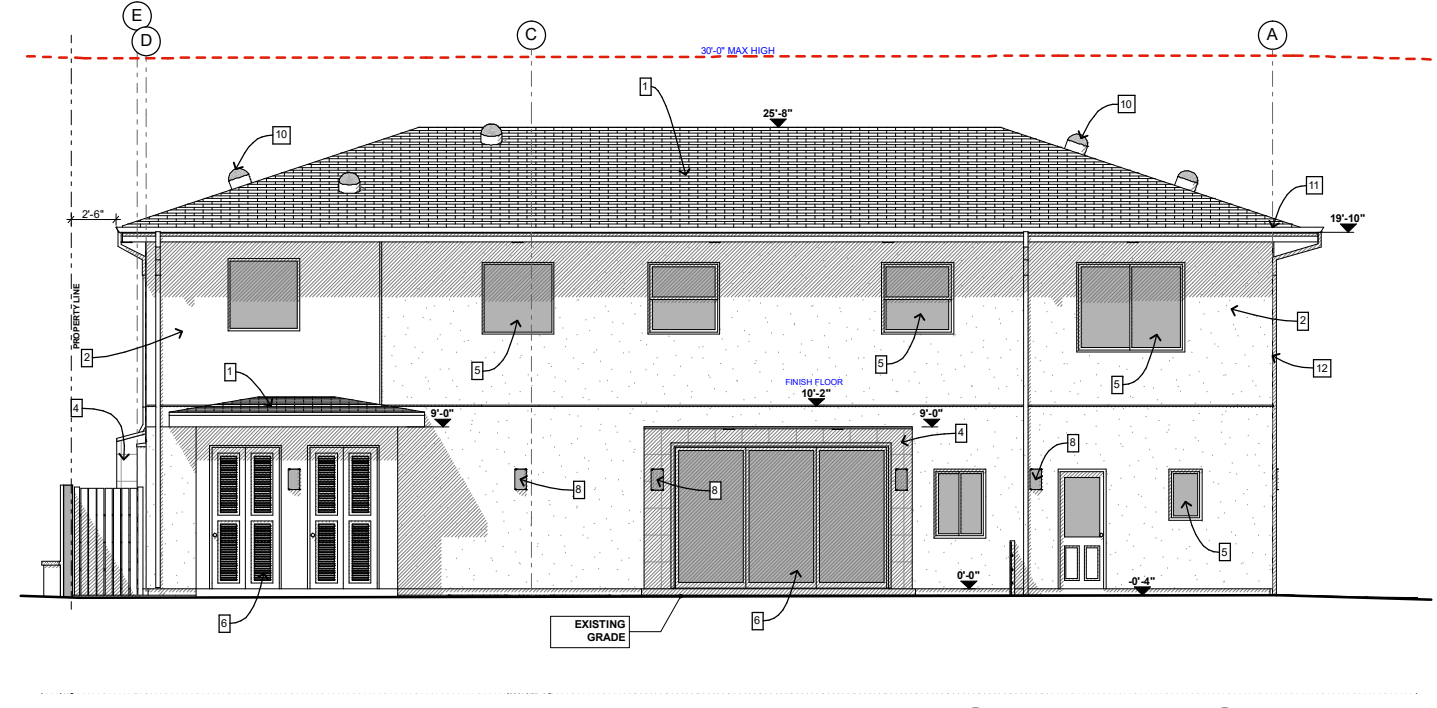
WEST ELEVATION
3/16" = 1'-0"

ELEVATION & SECTIONS KEY NOTES

1. ROOFING ASSEMBLY. CLASS "A" CERTAINEED ASPHALT ROOF SHINGLE ICC ESR 3537 ROOFING MATERIAL TO BE INSTALLED OVER TWO LAYERS OF 40# BUILDING PAPER.
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3. NEW STUCCO FINISH ACCENT COLOR 7/8" EXTERIOR PLASTER (SCRATCH, BROWN & FINISH COAT) OVER METAL LATH, OVER PLYWOOD SHEATHING PER STRUCTURAL.
4. NEW STONE TILE CLADDING
5. WINDOW PER SCHEDULE
6. DOOR PER SCHEDULE
7. STUCCO COLUMN PER DETAIL
8. HIGH EFFICACY EXTERIOR LIGHT
9. CRL LAURANCE GLASS GUARDRAIL
- 9A. S.S. GUARDRAIL SEE DETAIL 4/A15
10. SUN TUNNEL TUBE SKYLIGHT
11. COPPER GUTTER
12. COPPER DOWNSPOUT
13. 2X PAINTED WOOD FASCIA

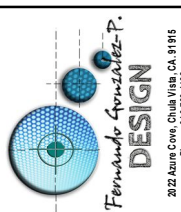


SOUTH ELEVATION
3/16" = 1'-0"



EAST ELEVATION
3/16" = 1'-0"

REMODEL, ADDITION AND ADU
HEALY'S RESIDENCE
1161-1163 SUNSET CLIFFS BLDV, SAN DIEGO, CA 92107

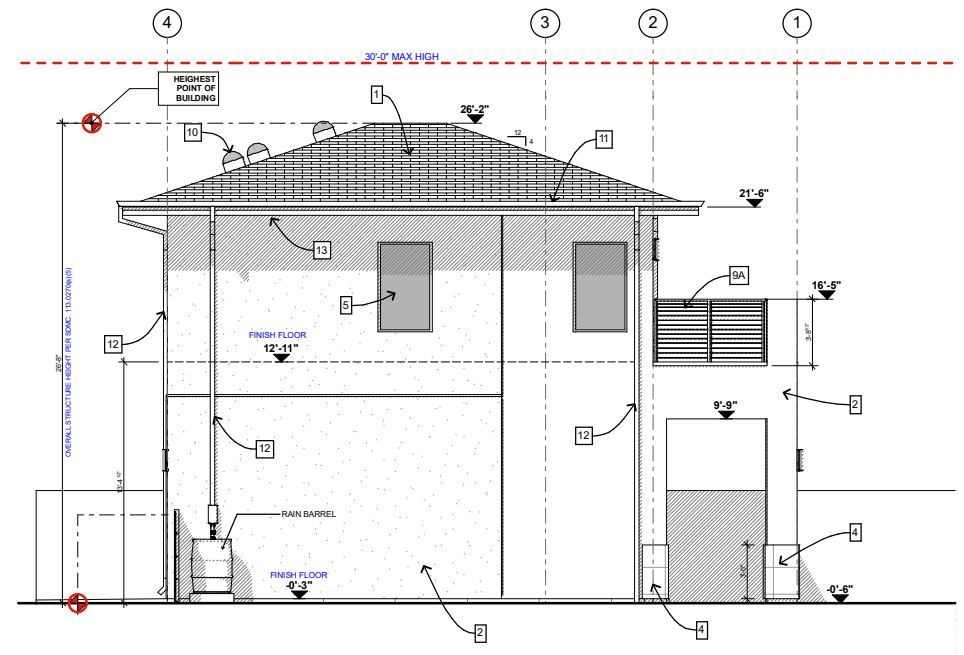


2022 Aure Cove, Chula Vista, CA 91915
Phone: 619.739.4492

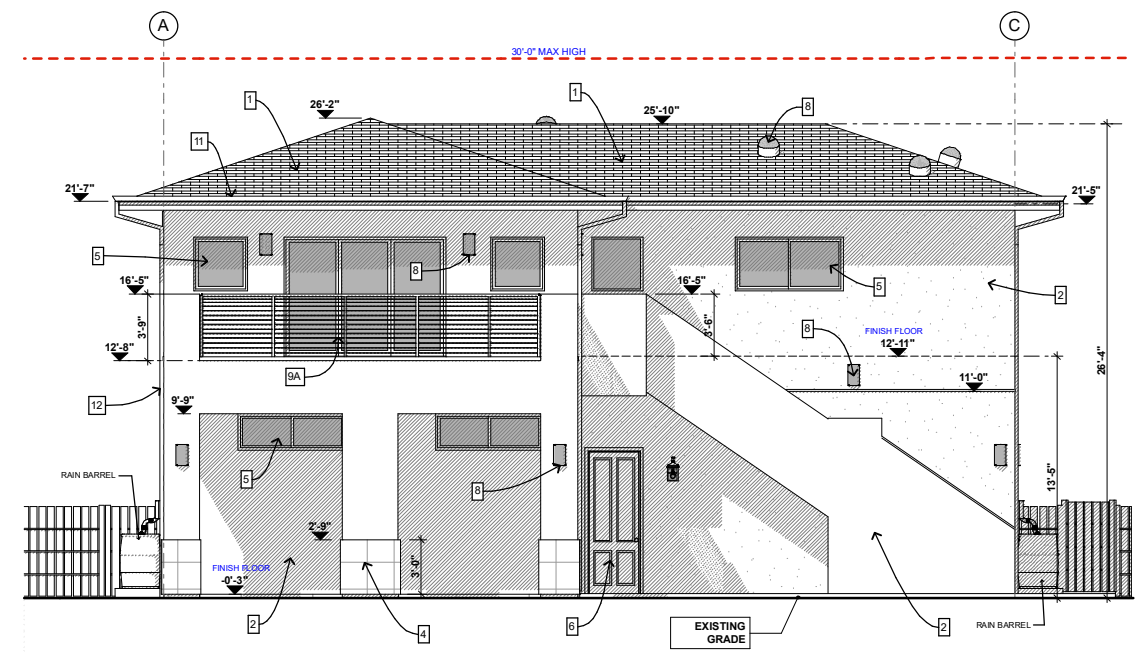
House Proposed Elevations

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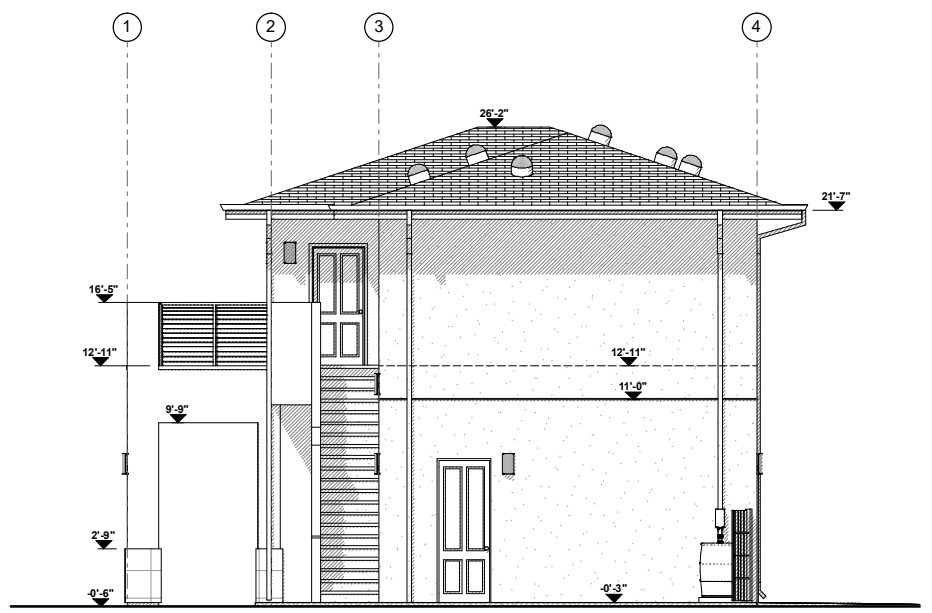
GARAGE / ADU NORTH ELEVATION
3/16" = 1'-0"



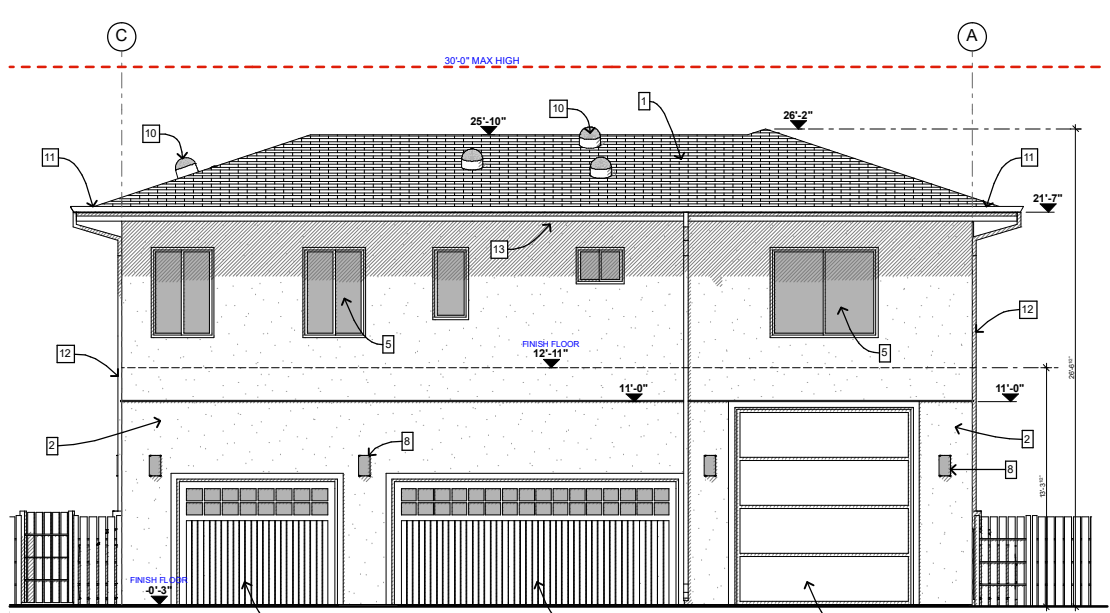
GARAGE / ADU WEST ELEVATION
3/16" = 1'-0"

**ELEVATION & SECTIONS
KEY NOTES**

1. ROOFING ASSEMBLY, CLASS "A" CERTAINEED ASPHALT ROOF SHINGLE ICC ESR 3537
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7/8" EXTERIOR PLASTER (SCRATCH, BROWN & FINISH COAT) OVER METAL LATH, OVER PLYWOOD SHEATING PER STRUCTURAL.
4. NEW STONE TILE CLADDING
5. WINDOW PER SCHEDULE
6. DOOR PER SCHEDULE
7. STUCCO COLUMN PER DETAIL
8. HIGH EFFICACY EXTERIOR LIGHT
9. CRL LAURANCE GLASS GUARDRAIL
- 9A. S.S. GUARDRAIL SEE DETAIL 4/A15
10. SUN TUNNEL TUBE SKYLIGHT
11. COPPER GUTTER
12. COPPER DOWNSPOUT
13. 2X PAINTED WOOD FASCIA

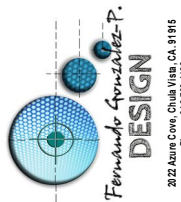


GARAGE / ADU SOUTH ELEVATION
3/16" = 1'-0"



GARAGE / ADU EAST ELEVATION
3/16" = 1'-0"

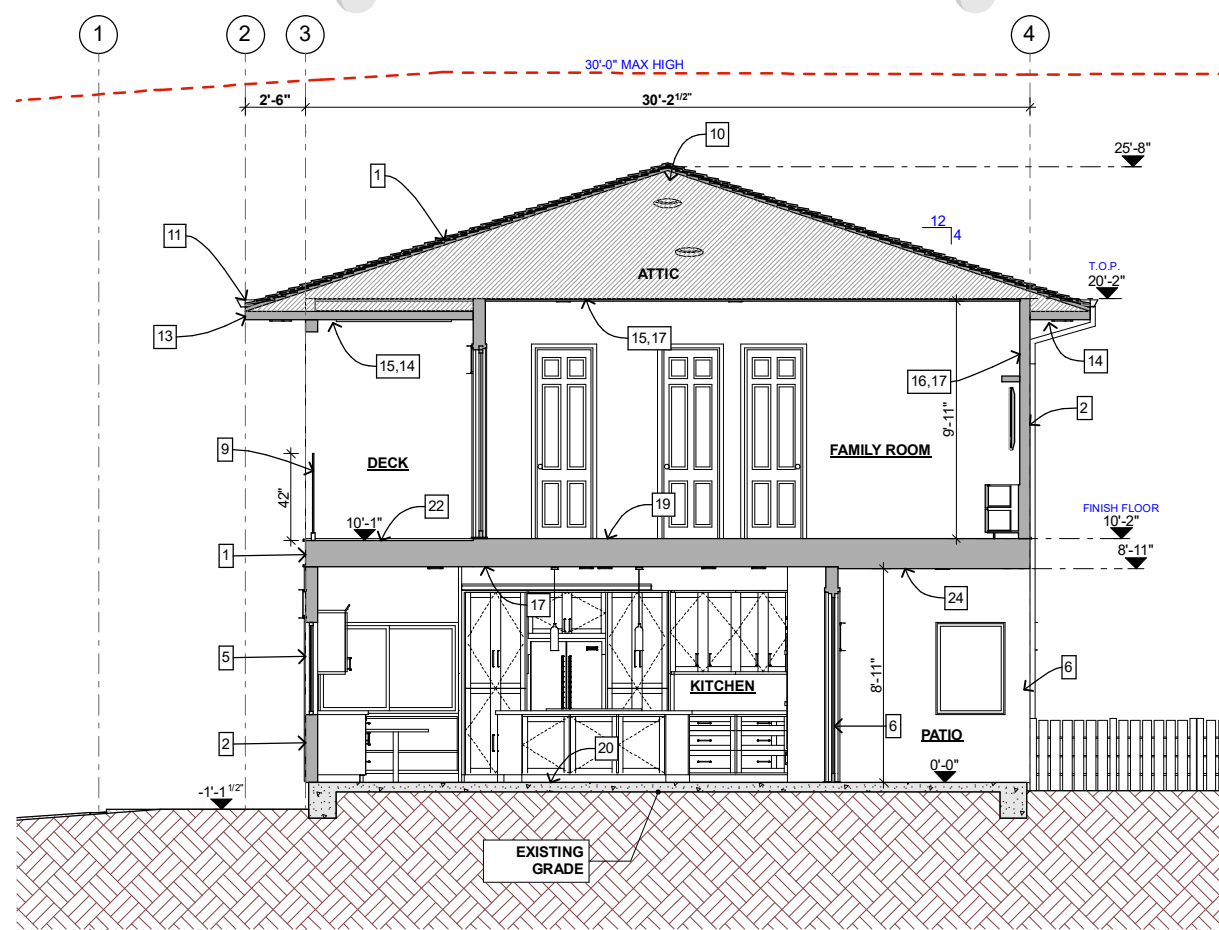
REMODEL, ADDITION AND ADU
HEALY'S RESIDENCE
1161-1163 SUNSET CLIFFS BLDV, SAN DIEGO, CA 92107



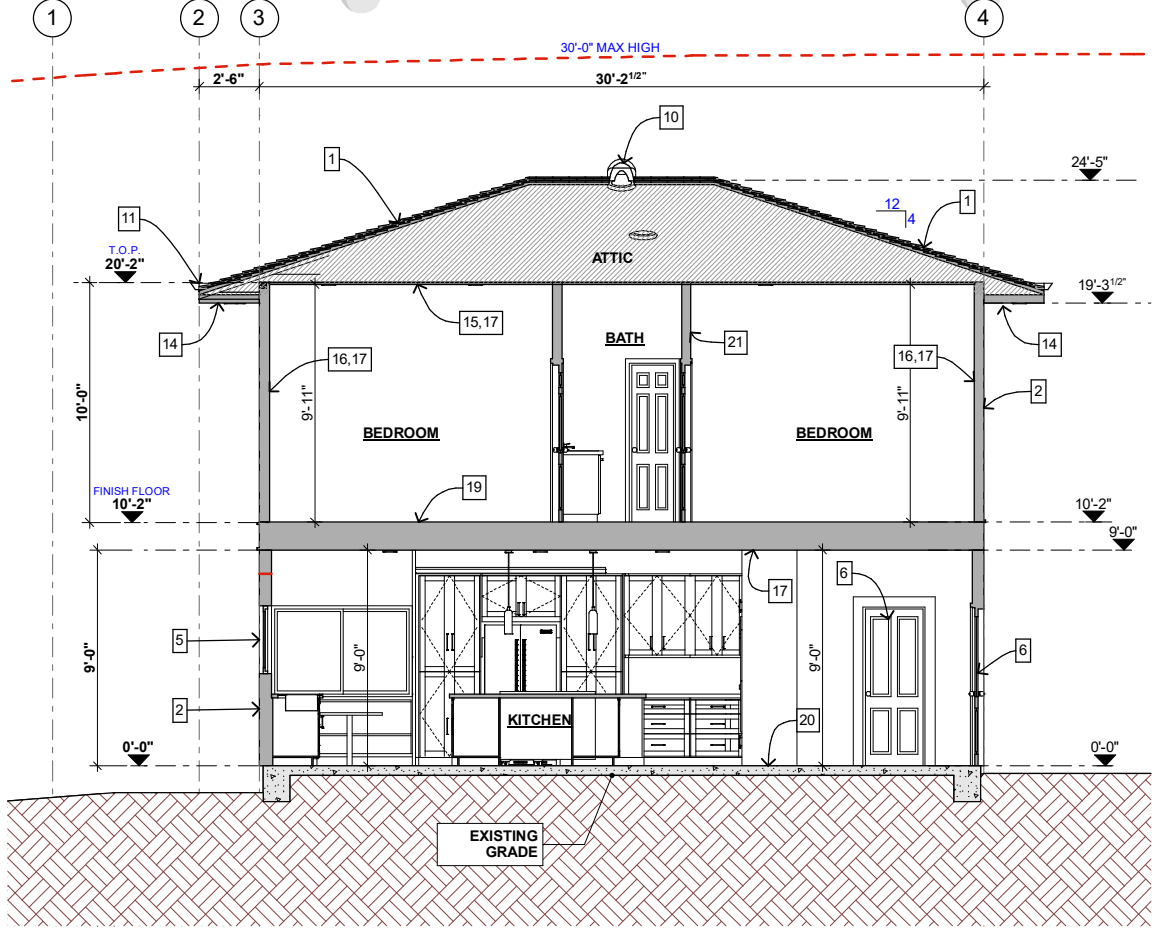
J. Gonzalez

Garage / ADU Elevations

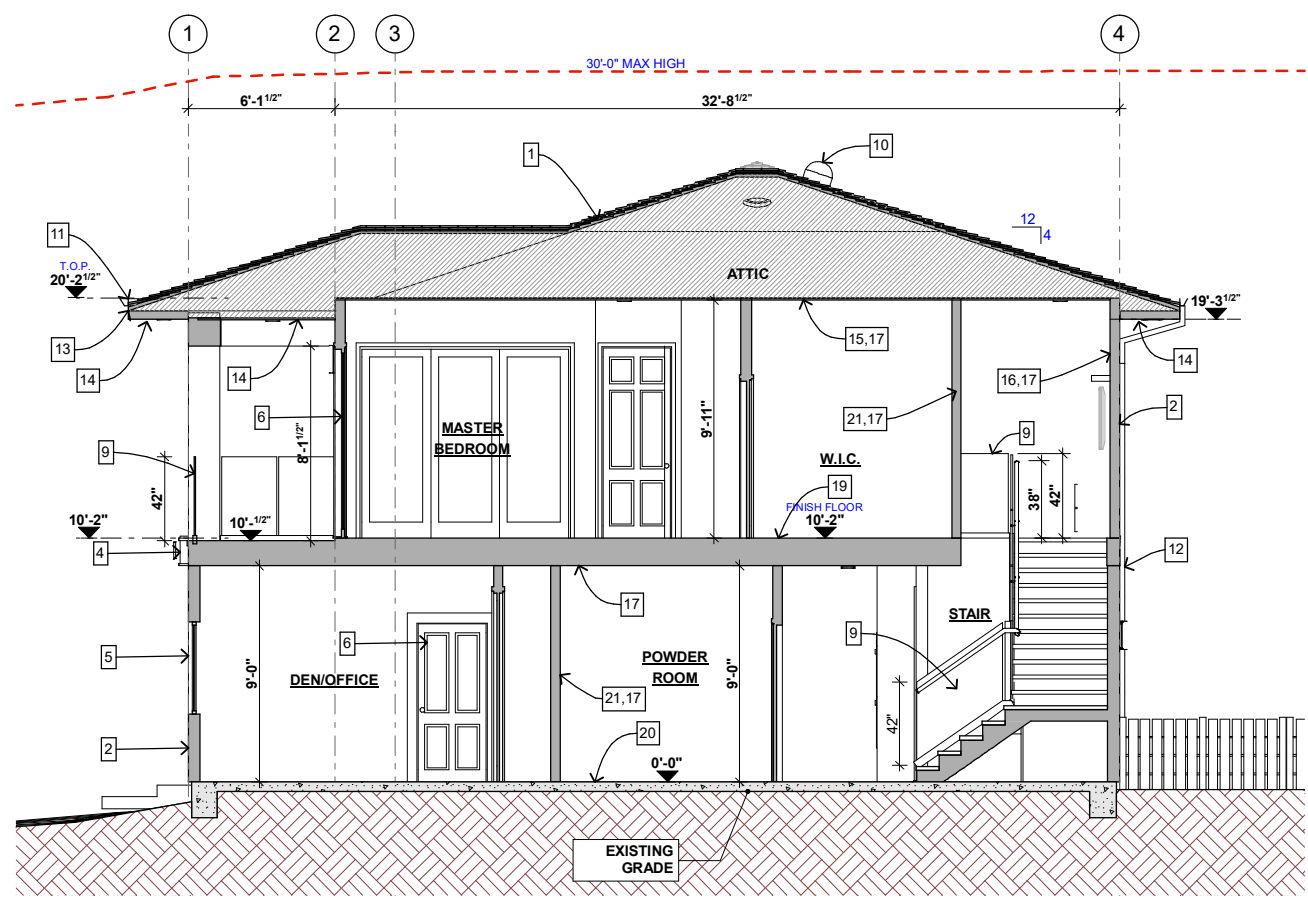
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HOUSE SECTION 2
1/4" = 1'-0"



HOUSE SECTION 1
1/4" = 1'-0"

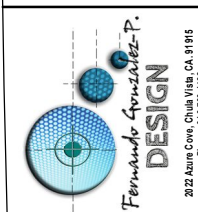


HOUSE SECTION 3
1/4" = 1'-0"

**ELEVATION & SECTIONS
KEY NOTES**

1. ROOFING ASSEMBLY, CLASS "A" CERTAINEED ASPHALT ROOF SHINGLE ICC ESR 3537 ROOFING MATERIAL TO BE INSTALLED OVER TWO LAYERS OF 40# BUILDING PAPER.
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3. NEW STUCCO FINISH ACCENT COLOR 7/8" EXTERIOR PLASTER (SCRATCH, BROWN & FINISH COAT) OVER METAL LATH, OVER PLYWOOD SHEATHING PER STRUCTURAL.
4. NEW STONE TILE CLADDING
5. WINDOW PER SCHEDULE
6. DOOR PER SCHEDULE
7. STUCCO COLUMN PER DETAIL
8. HIGH EFFICACY EXTERIOR LIGHT
9. CRL LAURANCE GLASS GUARDRAIL
- 9A. S.S. GUARDRAIL SEE DETAIL 4/A15
10. SUN TUNNEL TUBE SKYLIGHT
11. COPPER GUTTER
12. COPPER DOWNSPOUT
13. 2X PAINTED WOOD FASCIA
14. COMPOSITE PLANK EXTERIOR CLADDING
15. R-30 AND R13 ROOF INSULATION
16. R-15 INSULATION ON WALLS
17. 5/8" GYP BOARD.
18. 5/8" TYPE "X" GYP BOARD
19. CONCRETE SLAB ON GRADE PER STRUCTURAL
20. FLOOR FRAMING PER STRUCTURAL (R-19 ON CRAWL SPACE FLOOR)
21. 2x STUD FRAME WALLS
22. WATERPROOFING TO BE ACHIEVED WITH MIRACOT MIRAFLEX ICC ESR-1714 MUST BE WATER PROOFING & CLASS "A"
23. TRUSSES PER PLAN
24. COMPOSITE PLANK EXTERIOR CLADDING

REMODEL, ADDITION AND ADU
HEALY'S RESIDENCE
1161-1163 SUNSET CLIFFS BLDV, SAN DIEGO, CA 92107



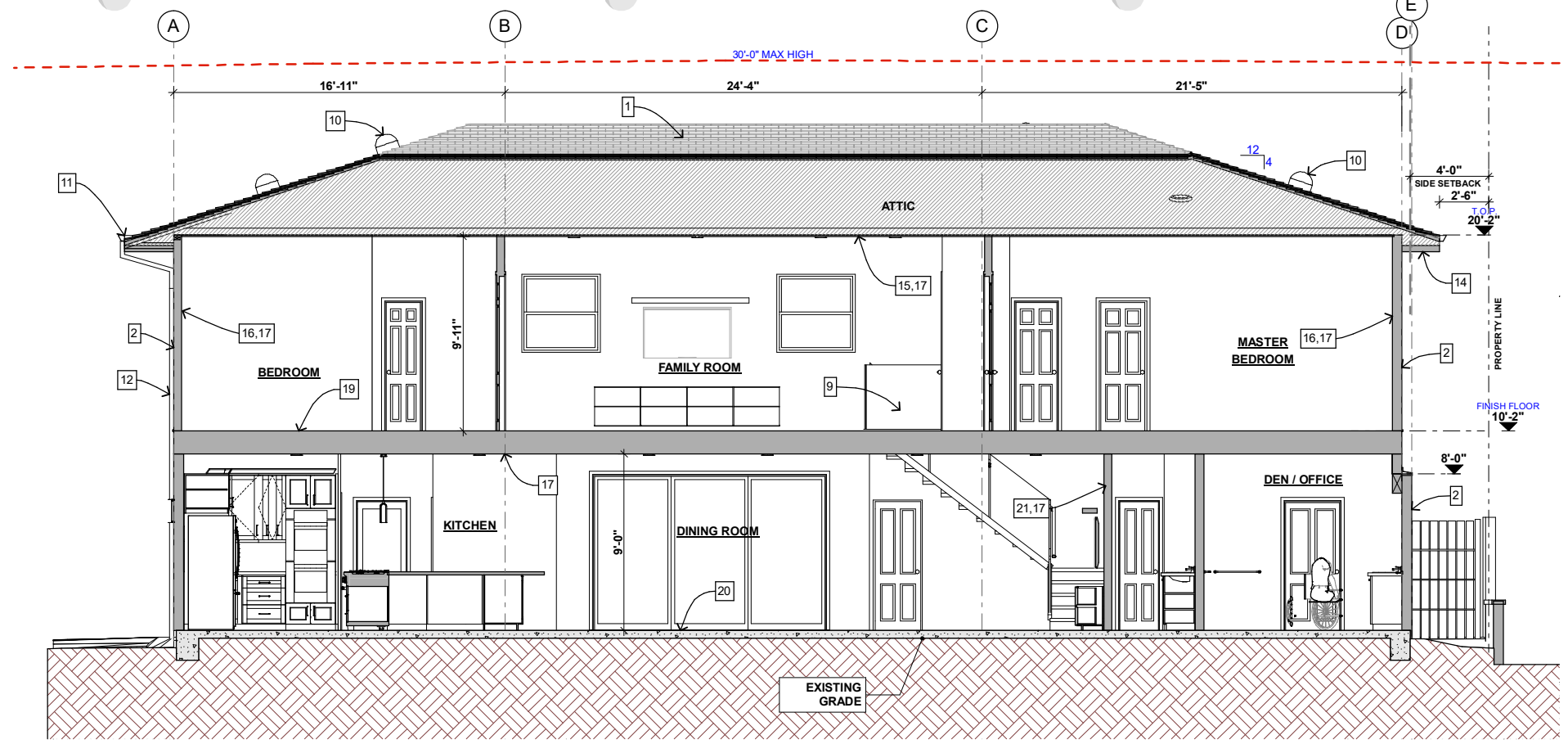
J. Gonzalez

House Sections

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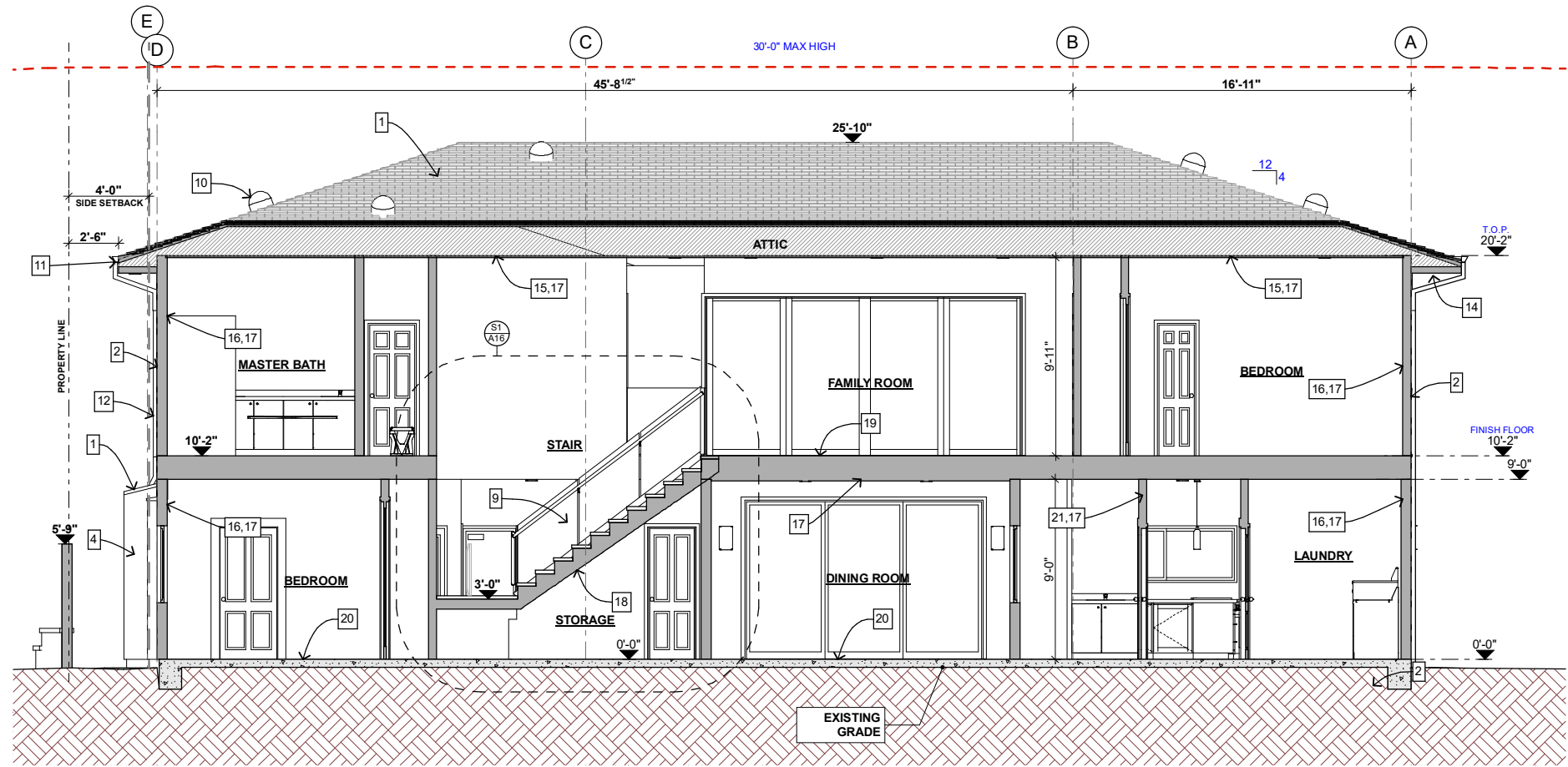
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HOUSE SECTION 4

1/4" = 1'-0"



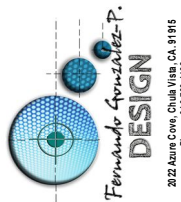
HOUSE SECTION 5

1/4" = 1'-0"

ELEVATION & SECTIONS KEY NOTES

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15. R-30 AND R13 ROOF INSULATION
16. R-15 INSULATION ON WALLS
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18. 5/8" TYPE "X" GYP BOARD
19. CONCRETE SLAB ON GRADE PER STRUCTURAL
20. FLOOR FRAMING PER STRUCTURAL (R-19 ON CRAWL SPACE FLOOR)
21. 2x STUD FRAME WALLS
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23. TRUSSES PER PLAN
24. COMPOSITE PLANK EXTERIOR CLADDING

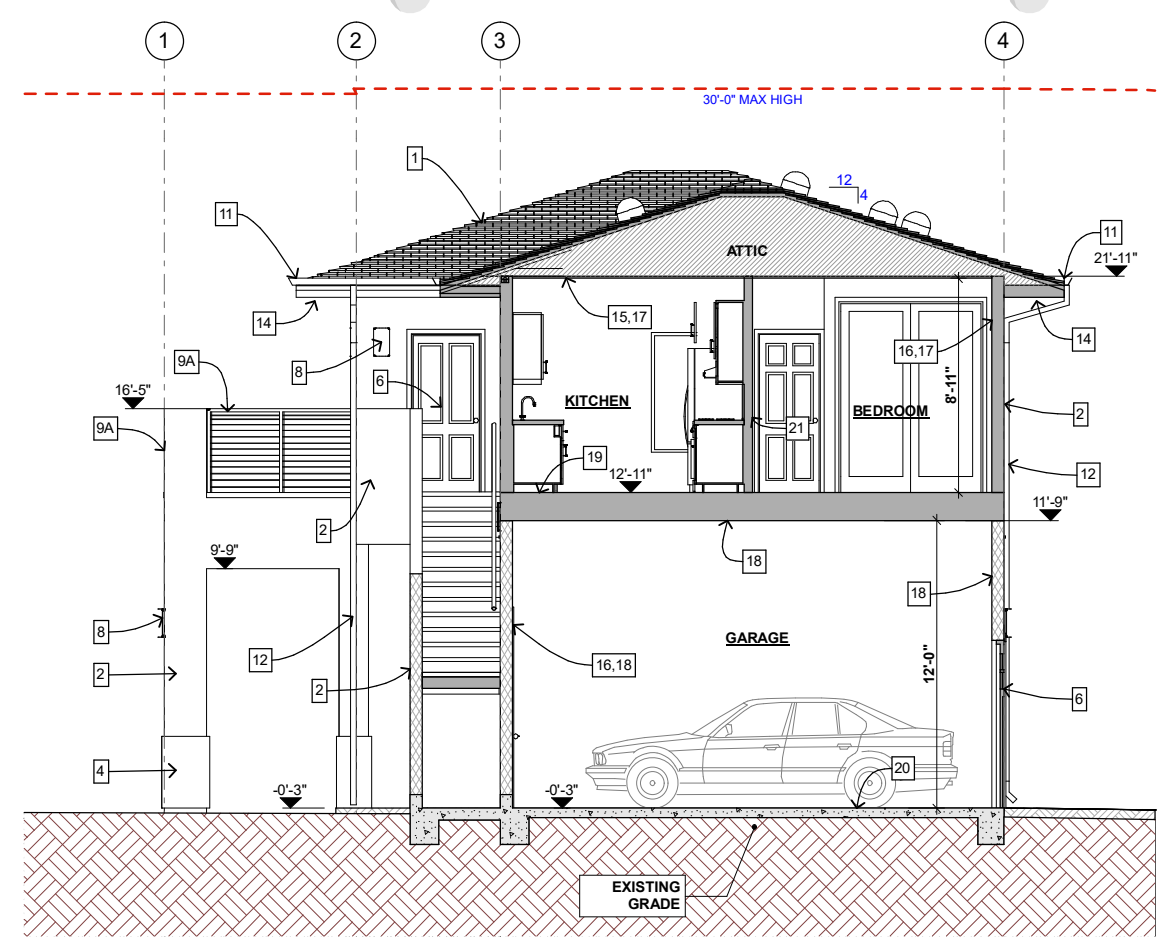
REMODEL, ADDITION AND ADU
HEALY'S RESIDENCE
 1161-1163 SUNSET CLIFFS BLDV, SAN DIEGO, CA 92107



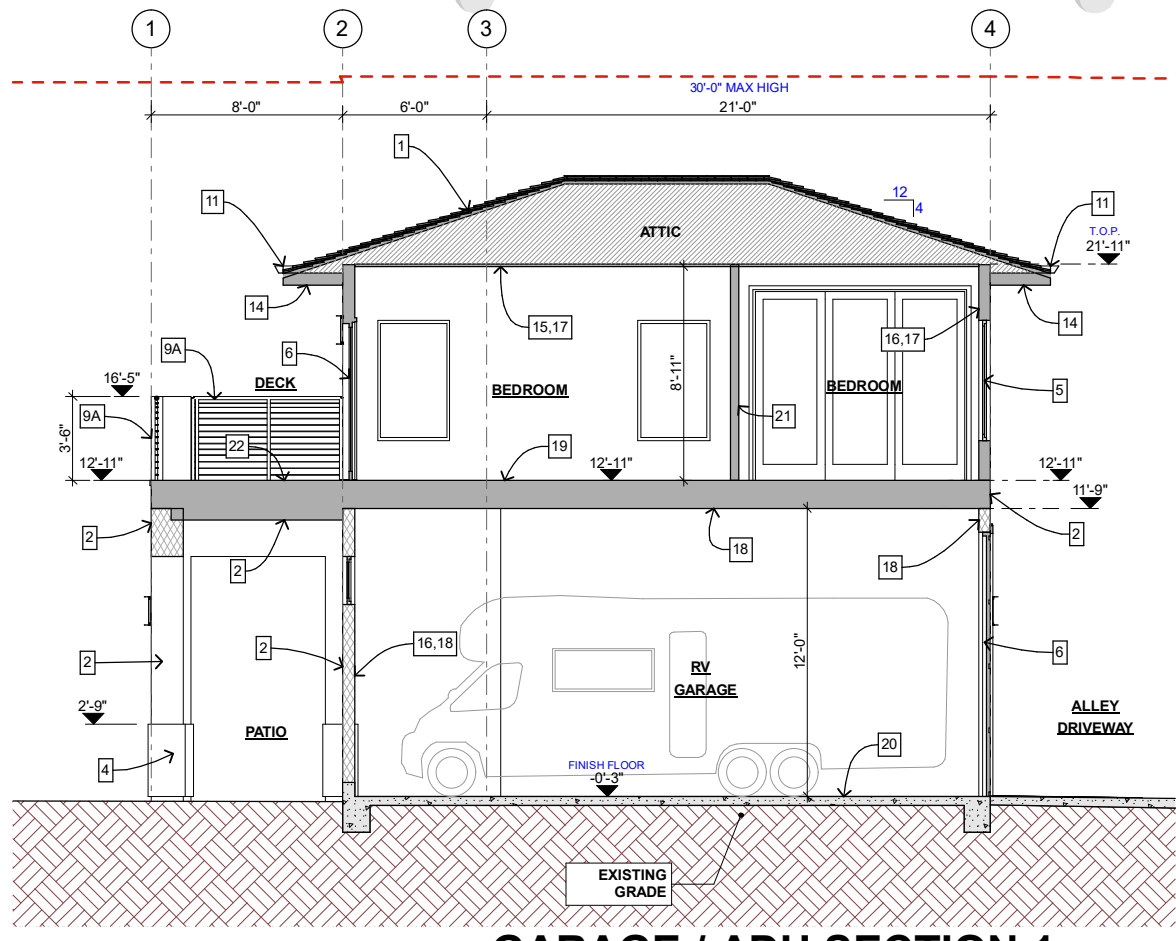
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**ELEVATION & SECTIONS
KEY NOTES**

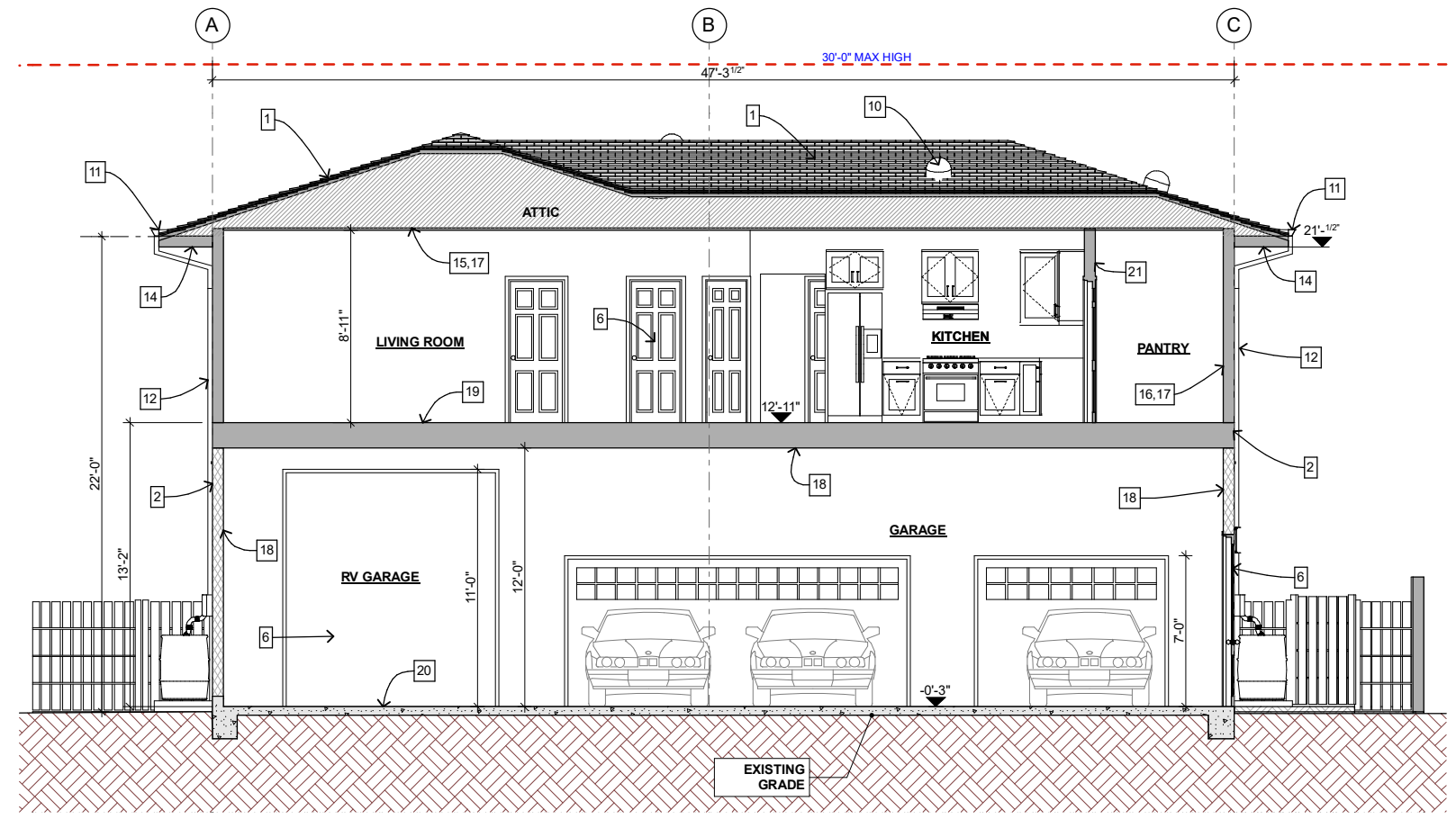
1. ROOFING ASSEMBLY, CLASS "A"
CERTAINEED ASPHALT ROOF SHINGLE
ICC ESR 3537
ROOFING MATERIAL TO BE INSTALLED
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WITH MIRACOT MIRAFLEX
ICC ESR-1714 MUST BE WATER
PROOFING & CLASS "A"
23. TRUSSES PER PLAN
24. COMPOSITE PLANK EXTERIOR CLADDING



GARAGE / ADU SECTION 2
1/4" = 1'-0"

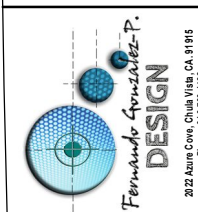


GARAGE / ADU SECTION 1
1/4" = 1'-0"



GARAGE / ADU SECTION 3
1/4" = 1'-0"

REMODEL, ADDITION AND ADU
HEALY'S RESIDENCE
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J. Gonzalez

Garage / ADU Sections	
Date:	04-10-25
Scale:	
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Job:	00000
Sheet Number:	A11
Total sheet count.	